

DEVELOPMENT APPLICATION PROPOSED RESIDENTIAL DEVELOPMENT

2428

UNIT BREAKDOWN		
Bedrooms	Count	%
1 Bed	8	10%
2 Bed	65	79%
3 Bed	9	11%

Grand total: 82

PARKING SCHEDULE	
Description	Count
Carwash Bay	2
Loading Bay	3
Motorcycle	5
Resident	91
Resident - Adaptable	9
Resident Bicycle Rack (fits 2 bikes)	14
Visitor	17
Visitor - Disabled	1
Visitor Bicycle Rack (fits 7 bikes)	3

Grand total: 145

CROSS-VENTILATION TO UNITS		
	Total	%
CROSS-VENTILATED UNITS	60	61%
SINGLE ASPECT UNITS	32	39%

SOLAR ACCESS TO UNITS		
	Total	%
+ 2 HOURS SUNLIGHT TO LIVING	68	71%
- 2 HOURS SUNLIGHT TO LIVING	24	29%

POST-ADAPTABLE UNITS		
	Total	%
YES	9	11%
NO	73	89%

UNIT SCHEDULE										
Unit No.	Level	No. of Bedrooms	Unit Area	Balcony Area	Post-Adaptable	Solar Access 2+	Cross-Vent.	Internal Storage Vol.	Basement Storage No.	Basement Storage Vol.
A01	Level01	2Bed	77.1m²	48.8m²	No	No	Yes	55m³	1	8.4m³
A02	Level01	2Bed	76.5m²	43.8m²	No	Yes	Yes	30m³	2	8.4m³
A03	Level01	1Bed	60.2m²	25.5m²	Yes	Yes	No	4.0m³	3	8.4m³
A04	Level01	2Bed	76.5m²	52.3m²	No	Yes	Yes	30m³	4	8.4m³
A05	Level01	3Bed	95.9m²	32.8m²	No	Yes	Yes	42m³	48	11.1m³
A06	Level02	2Bed	77.1m²	10.0m²	No	No	Yes	55m³	5	8.4m³
A07	Level02	2Bed	76.5m²	10.0m²	No	Yes	Yes	30m³	6	8.4m³
A08	Level02	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	7	8.4m³
A09	Level02	2Bed	76.5m²	19.0m²	No	Yes	Yes	30m³	8	8.4m³
A10	Level02	3Bed	98.9m²	14.0m²	No	Yes	Yes	52m³	50	13.1m³
A11	Level03	2Bed	77.1m²	10.9m²	No	Yes	Yes	55m³	9	8.4m³
A12	Level03	2Bed	76.5m²	10.9m²	No	Yes	Yes	30m³	10	8.4m³
A13	Level03	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	11	8.4m³
A14	Level03	2Bed	76.5m²	12.0m²	No	Yes	Yes	30m³	12	8.4m³
A15	Level03	3Bed	98.9m²	14.0m²	No	Yes	Yes	52m³	60	10.0m³
B01	Level01	2Bed	77.0m²	29.6m²	No	No	Yes	52m³	13	8.4m³
B02	Level01	2Bed	76.5m²	52.3m²	No	Yes	Yes	30m³	14	8.4m³
B03	Level01	1Bed	60.2m²	25.5m²	Yes	Yes	No	4.0m³	15	8.4m³
B04	Level01	2Bed	76.0m²	37.4m²	No	Yes	No	4.3m³	16	8.4m³
B05	Level01	3Bed	97.3m²	46.6m²	Yes	Yes	Yes	4.4m³	64	10.0m³
B06	Level01	2Bed	75.4m²	25.3m²	No	No	No	4.1m³	17	8.4m³
B07	Level02	2Bed	77.0m²	13.7m²	No	No	Yes	52m³	18	8.4m³
B08	Level02	2Bed	76.5m²	12.0m²	No	Yes	Yes	30m³	19	8.4m³
B09	Level02	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	20	8.4m³
B10	Level02	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	21	8.4m³
B11	Level02	3Bed	97.3m²	12.0m²	Yes	Yes	Yes	4.4m³	22	8.4m³
B12	Level02	2Bed	76.1m²	14.1m²	No	No	No	4.1m³	23	8.4m³
B13	Level03	2Bed	77.0m²	13.7m²	No	No	Yes	52m³	24	8.4m³
B14	Level03	2Bed	76.5m²	12.0m²	No	Yes	Yes	30m³	25	8.4m³
B15	Level03	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	26	8.4m³
B16	Level03	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	27	8.4m³
B17	Level03	3Bed	97.3m²	12.0m²	Yes	Yes	Yes	4.4m³	28	8.3m³
B18	Level03	2Bed	76.1m²	14.1m²	No	No	No	4.1m³	29	8.3m³
C01	Basement Level01	2Bed	77.0m²	48.9m²	No	No	Yes	52m³	30	8.3m³
C02	Basement Level01	2Bed	76.5m²	73.1m²	No	No	Yes	30m³	31	8.3m³
C03	Basement Level01	1Bed	60.2m²	25.1m²	No	Yes	No	2.0m³	32	8.3m³
C04	Basement Level01	2Bed	76.0m²	35.1m²	No	Yes	No	4.3m³	33	8.3m³
C05	Basement Level01	1Bed	55.1m²	28.2m²	Yes	Yes	No	4.9m³	34	8.3m³
C06	Basement Level01	2Bed	76.3m²	57.7m²	No	Yes	Yes	6.7m³	35	8.3m³
C07	Basement Level01	2Bed	78.0m²	38.8m²	No	Yes	Yes	3.0m³	36	8.3m³
C08	Basement Level01	2Bed	76.1m²	34.8m²	No	No	No	4.1m³	37	8.3m³
C09	Level01	2Bed	77.0m²	13.7m²	No	No	Yes	52m³	38	8.3m³
C10	Level01	2Bed	76.5m²	12.0m²	No	No	No	3.0m³	39	8.3m³
C11	Level01	2Bed	76.0m²	12.2m²	No	Yes	No	4.3m³	40	8.3m³
C12	Level01	2Bed	76.0m²	12.2m²	No	Yes	No	4.3m³	41	8.3m³
C13	Level01	1Bed	55.1m²	19.5m²	Yes	Yes	No	4.9m³	42	8.3m³
C14	Level01	2Bed	76.3m²	10.0m²	No	Yes	Yes	8.7m³	43	8.3m³
C15	Level01	2Bed	78.0m²	15.5m²	No	Yes	Yes	3.0m³	44	8.3m³
C16	Level01	2Bed	76.1m²	10.9m²	No	No	No	4.1m³	45	8.3m³
C17	Level02	2Bed	77.0m²	13.7m²	No	No	Yes	52m³	46	8.3m³
C18	Level02	2Bed	76.5m²	15.5m²	No	Yes	Yes	3.0m³	47	8.3m³
C19	Level02	2Bed	78.0m²	12.3m²	No	Yes	No	4.3m³	48	8.3m³
C20	Level02	2Bed	76.0m²	12.3m²	No	Yes	No	4.3m³	51	8.3m³
C21	Level02	1Bed	55.1m²	10.5m²	Yes	Yes	No	4.9m³	52	8.3m³
C22	Level02	2Bed	76.3m²	18.6m²	No	Yes	Yes	6.7m³	53	8.3m³
C23	Level02	2Bed	78.0m²	15.5m²	No	Yes	Yes	3.0m³	54	8.3m³
C24	Level02	2Bed	76.1m²	10.9m²	No	No	No	4.1m³	55	8.3m³
C25	Level03	2Bed	77.0m²	13.8m²	No	No	Yes	52m³	56	8.3m³
C26	Level03	2Bed	76.5m²	12.0m²	No	Yes	Yes	3.0m³	57	8.3m³
C27	Level03	2Bed	76.0m²	12.2m²	No	Yes	No	4.3m³	58	8.3m³
C28	Level03	2Bed	76.0m²	12.2m²	No	Yes	No	4.3m³	59	8.3m³
C29	Level03	1Bed	55.1m²	10.5m²	Yes	Yes	No	4.9m³	60	8.3m³
C30	Level03	2Bed	76.3m²	16.1m²	No	Yes	Yes	6.7m³	61	8.3m³
C31	Level03	2Bed	78.0m²	15.5m²	No	Yes	Yes	3.0m³	62	8.3m³
C32	Level03	2Bed	76.1m²	11.1m²	No	No	No	4.1m³	65	10.0m³
D01	Ground (Block D)	2Bed	77.0m²	60.1m²	No	No	Yes	52m³	66	10.1m³
D02	Ground (Block D)	2Bed	84.0m²	50.0m²	No	No	No	4.5m³	67	11.3m³
D03	Level01 (Block D)	2Bed	77.0m²	13.6m²	No	No	Yes	52m³	68	11.3m³
D04	Level01 (Block D)	2Bed	76.5m²	34.1m²	No	Yes	Yes	3.0m³	69	11.3m³
D05	Level01 (Block D)	1Bed	60.2m²	25.1m²	No	Yes	No	7.1m³	70	11.3m³
D06	Level01 (Block D)	2Bed	76.5m²	49.4m²	No	Yes	Yes	3.0m³	71	8.3m³
D07	Level01 (Block D)	3Bed	98.9m²	30.0m²	No	Yes	Yes	52m³	72	8.3m³
D08	Level02 (Block D)	2Bed	77.0m²	13.7m²	No	No	Yes	52m³	73	8.3m³
D09	Level02 (Block D)	2Bed	76.5m²	10.3m²	No	No	Yes	3.0m³	74	8.3m³
D10	Level02 (Block D)	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	75	8.3m³
D11	Level02 (Block D)	2Bed	76.5m²	12.0m²	No	Yes	Yes	3.0m³	76	8.3m³
D12	Level02 (Block D)	3Bed	98.9m²	14.6m²	No	Yes	Yes	52m³	77	8.3m³
D13	Level03 (Block D)	2Bed	77.0m²	13.7m²	No	No	Yes	52m³	78	8.3m³
D14	Level03 (Block D)	2Bed	76.5m²	10.3m²	No	Yes	Yes	3.0m³	79	8.3m³
D15	Level03 (Block D)	2Bed	76.0m²	12.4m²	No	Yes	No	4.3m³	80	8.3m³
D16	Level03 (Block D)	2Bed	76.5m²	16.5m²	No	Yes	Yes	3.0m³	81	8.3m³
D17	Level03 (Block D)	3Bed	98.9m²	14.6m²	No	Yes	Yes	52m³	82	8.3m³

TOTAL UNITS 82

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

(a) Dwellings

(i) Water

(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table in the BASIX Certificate, as a private landscaping for that dwelling.

(c) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table of the BASIX Certificate.

(d) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table of the BASIX Certificate. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.

(ii) Energy

(b) The applicant must install each hot water system specified for the dwelling in the table of the BASIX Certificate, so that the dwelling's hot water is supplied by that system, if the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.

(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table of the BASIX Certificate (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is filled with a window and/or skylight.

(iii) Thermal Comfort

(g) Where there is an in-slab heating or cooling system, the applicant must:

- (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or
- (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.

(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table of the BASIX Certificate.

(b) Common areas and central systems/facilities

(i) Water

(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table of the BASIX Certificate. In each case, the system must be sized, be configured, and be connected, as specified in the table of the BASIX Certificate.

(c) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table of the BASIX Certificate.

(ii) Energy

(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table in the BASIX Certificate. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table of the BASIX Certificate.

TOTAL CALCULATIONS

SITE AREA (excl. roads) = 6,474.4 m²

GROSS FLOOR AREA = 7,249.3 m²

FLOOR SPACE RATIO = 1.120 : 1

BUILDING AREA = 2,600.6 m²

SITE COVER = 40.2 %

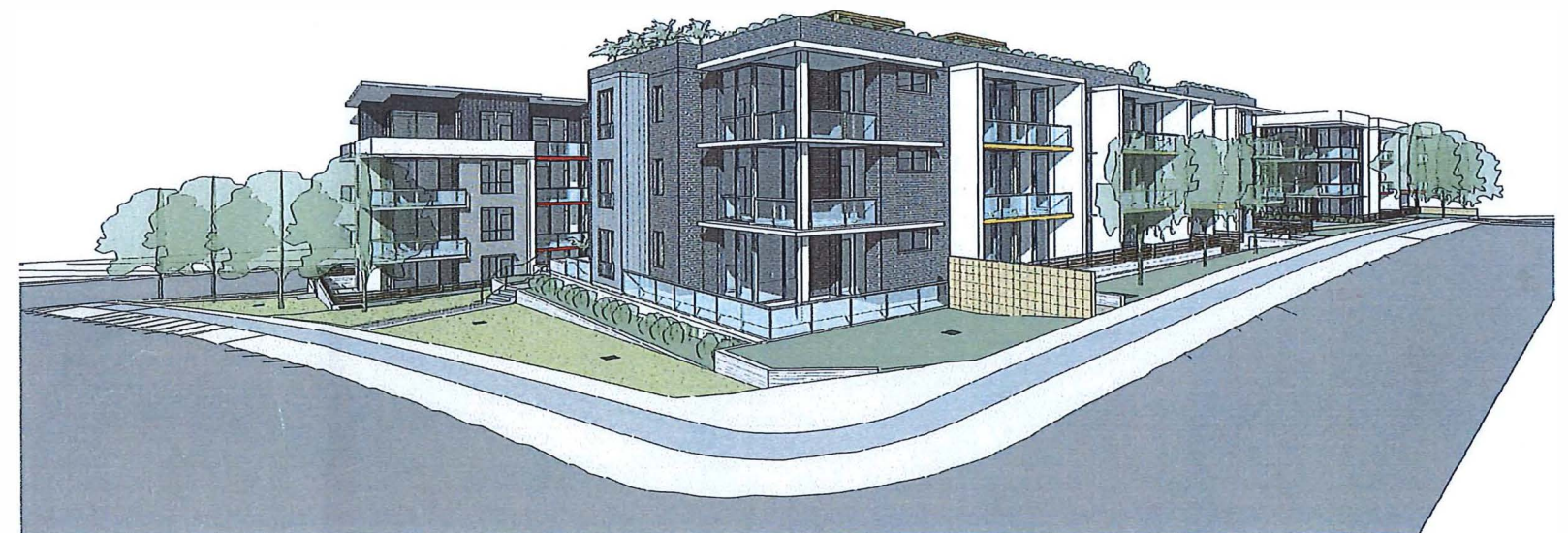
DEEP SOIL LANDSCAPING = 1,260.0 m² (19.5%)

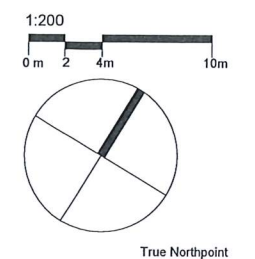
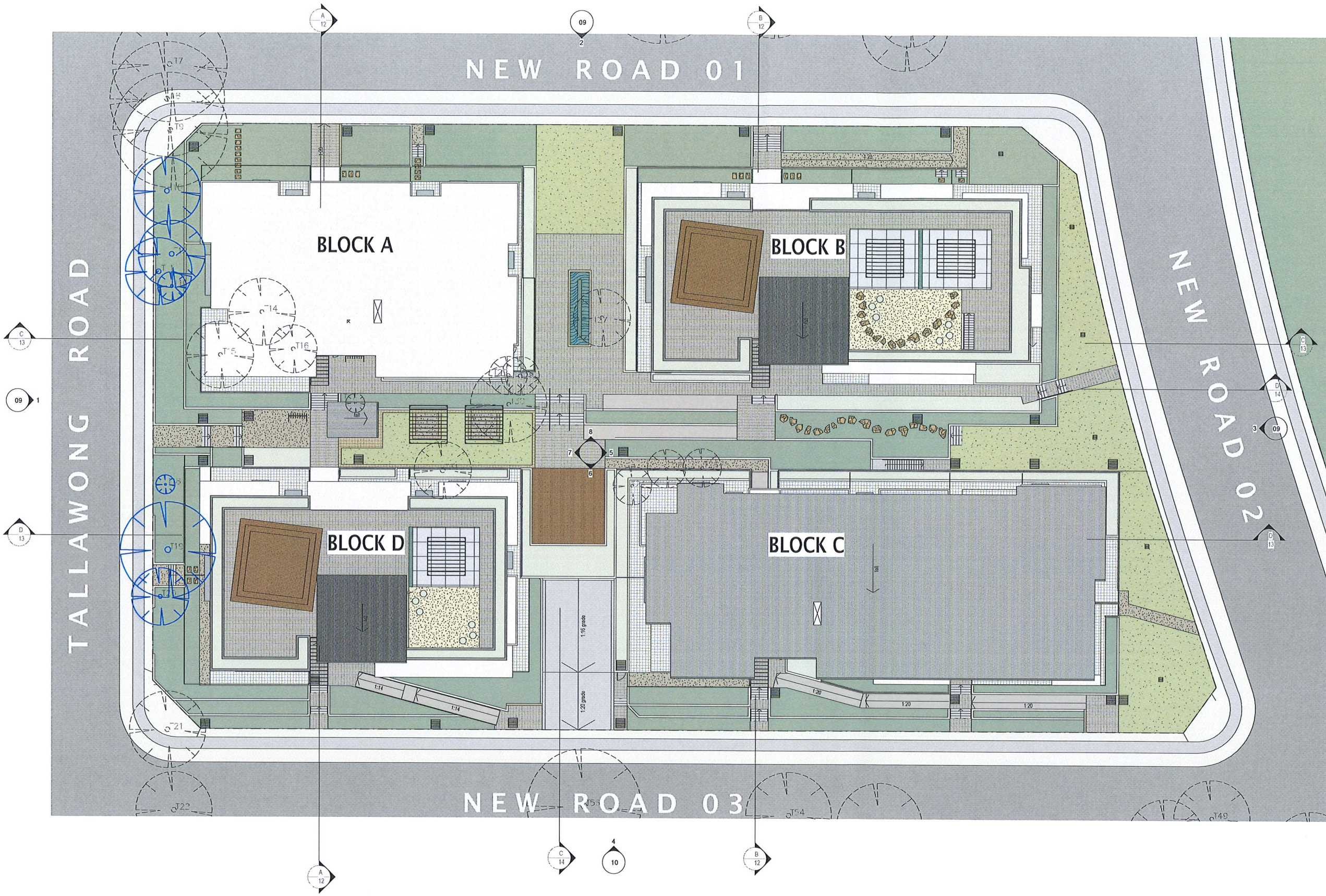
TOTAL LANDSCAPING = 2,588.0 m² (40.0%)

COMMON OPEN SPACE = 1,941.7 m² (30.0%)

DRAWING SHEET LIST

Sheet Number	Sheet Name	Current Revision	Current Revision Date
01	Site Analysis	0	22-03-19
02	Site Plan	0	22-03-19
03	Basement Level 02 + Ground Floor Level (Block D)	0	22-03-19
04	Basement Level 01 + Ground Floor Level	0	22-03-19
05	Level 01	0	22-03-19
06	Level 02	0	22-03-19
07	Level 03	0	22-03-19
08	Roof Level	0	22-03-19
09	Site Elevations	0	22-03-19
10	Site Sections	0	22-03-19
11	Site Sections	0	22-03-19
12	Site Sections	0	22-03-19
13	Site Sections	0	22-03-19
14	Site Details	0	22-03-19
15	Waste Management Plan	0	22-03-19
16	Typical Unit Layouts - Block A	0	22-03-19
17	Typical Unit Layouts - Block B	0	22-03-19
18	Typical Unit Layouts - Block C	0	22-03-19
19	Typical Unit Layouts - Block D	0	22-03-19
20	3d Building Height Plane Diagram	0	22-03-19
21	F.S.R. + Site Calculation Diagrams	0	22-03-19
22	Shadow Diagram - Sun 21st June	0	22-03-19
23	Shadow Diagram - Sun 21st June	0	22-03-19
24	Shadow Diagram - Sun 21st June	0	22-03-19
25	Solar Access Diagram 1	0	22-03-19
26	Solar Access Diagram 2	0	22-03-19
27	Aerial Image	0	22-03-19
28	3d Sections	0	22-03-19
29	Schedule of Finishes	0	22-03-19





True Northpoint
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS

MAIL + FENCE DETAILS: REFER TO DWG NO. DA14

DRIVEWAY RAMP SECTIONS: REFER TO DWG NO. DA14

WASTE MANAGEMENT DETAILS: REFER TO DWG NO. 15

STORMWATER DETAILS + SITE LEVELS: REFER TO HYDRAULIC + CIVIL DRAWINGS

LANDSCAPE DETAILS: REFER TO LANDSCAPE DRAWINGS

Issue	Issue description	Date
D	Development Application Issue	22.03.19
C	Prelim. Issue to Consultants	01.03.19
B	Prelim. Issue to Council	25.02.19
A	Prelim. Issue to Client	18.02.19

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 Nominated Architect: Robert Del Rizzo
 NSW Reg. No. 3972

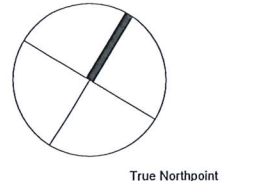
DEVELOPMENT APPLICATION

Project	PROPOSED RESIDENTIAL DEVELOPMENT	
Project Address	172 Tallawong Road, Rouse Hill	
Client	North Western Group Pty. Ltd.	
Title	Site Plan	
Drawn	Scale	Checked
PDP	1 : 200	
Job No	Drawing No.	Issue
2428	02	D

1 Site Plan
1 : 200

LOCATION AMENITIES

-  2.6km to ROUSE HILL SHOPPING CENTRE
-  1.6km to CUDGEGONG ROAD TRAIN STATION
-  1.2m to NEAREST BUS STOP (SCHOFIELDS RD.)
-  600m to CUDGEGONG RESERVE
1.7km to LAKES EDGE PARK
-  2.0km to ROUSE HILL POST OFFICE
-  2.1km to ROUSE HILL PUBLIC SCHOOL
2.0km to RIVERSTONE HIGH SCHOOL
-  1.6km to ROUSE HILL ANGLICAN CHURCH



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- Note:
- for more information regarding the site and its surrounds - refer to the written site analysis statement
 - refer to ground floor plan and survey drawings for site dimensions and bearings
 - for more information regarding the architectural character - refer to the written site analysis statement

EXTERNAL WORKS + SITE LEVELS:
REFER TO DWG NO. 02

WASTE MANAGEMENT DETAILS:
REFER TO DWG NO. 15

STORMWATER DETAILS + SITE LEVELS:
REFER TO HYDRAULIC DRAWINGS

LANDSCAPE DETAILS:
REFER TO LANDSCAPE DRAWINGS

Issue	Issue description	Date
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Nominated Architect: Robert Del Rizzo
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Project
PROPOSED RESIDENTIAL DEVELOPMENT

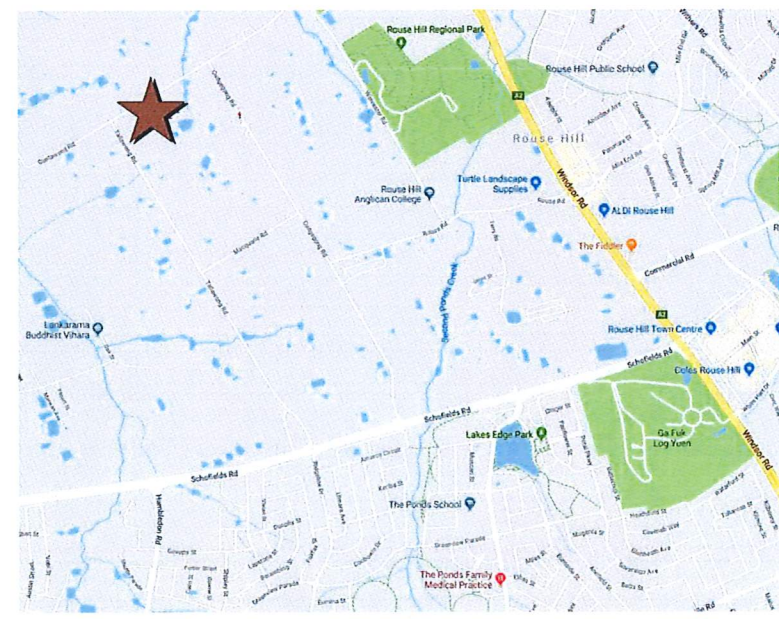
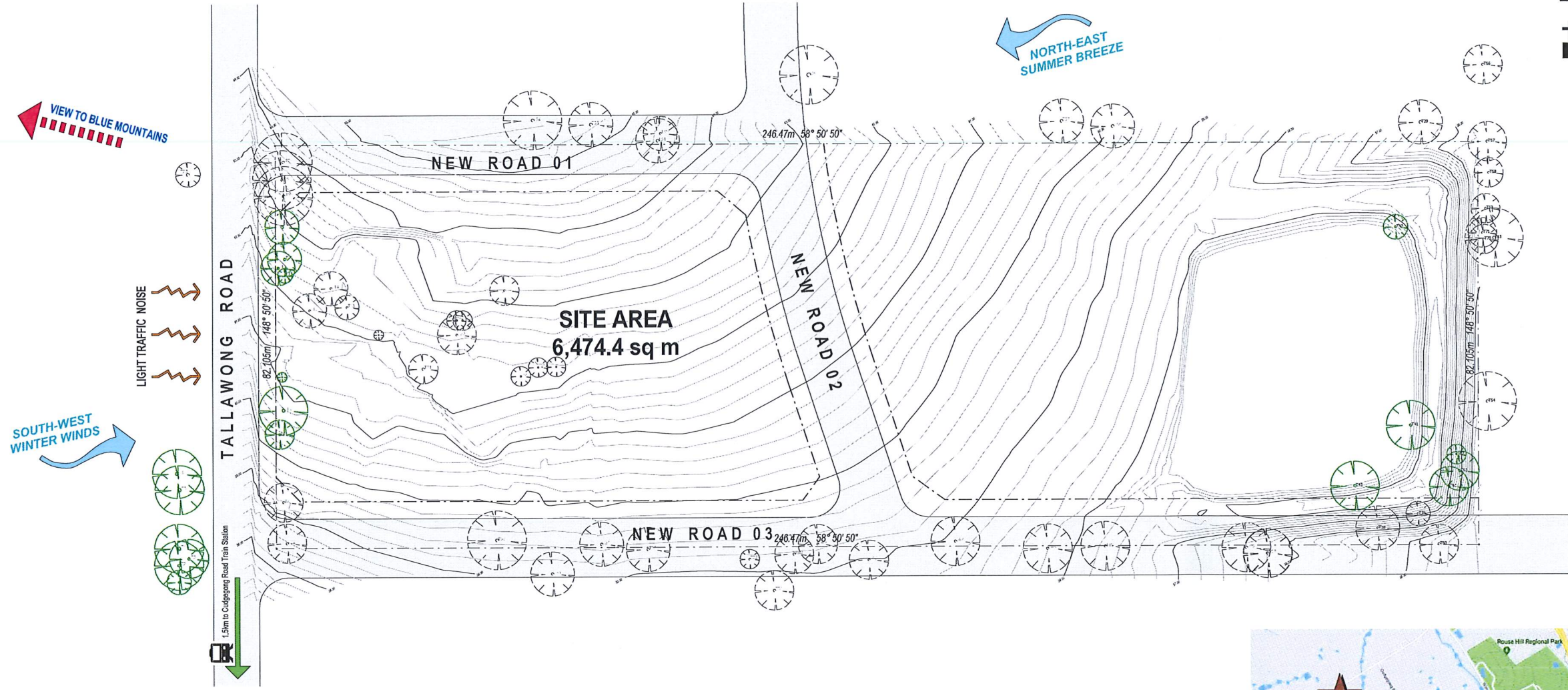
Project Address
172 Tallawong Road, Rouse Hill

Client
North Western Group Pty. Ltd.

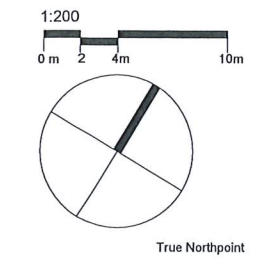
Title
Site Analysis

Drawn	Scale	Checked
PDP	1 : 500	
Job No	Drawing No.	Issue
2428	01	D

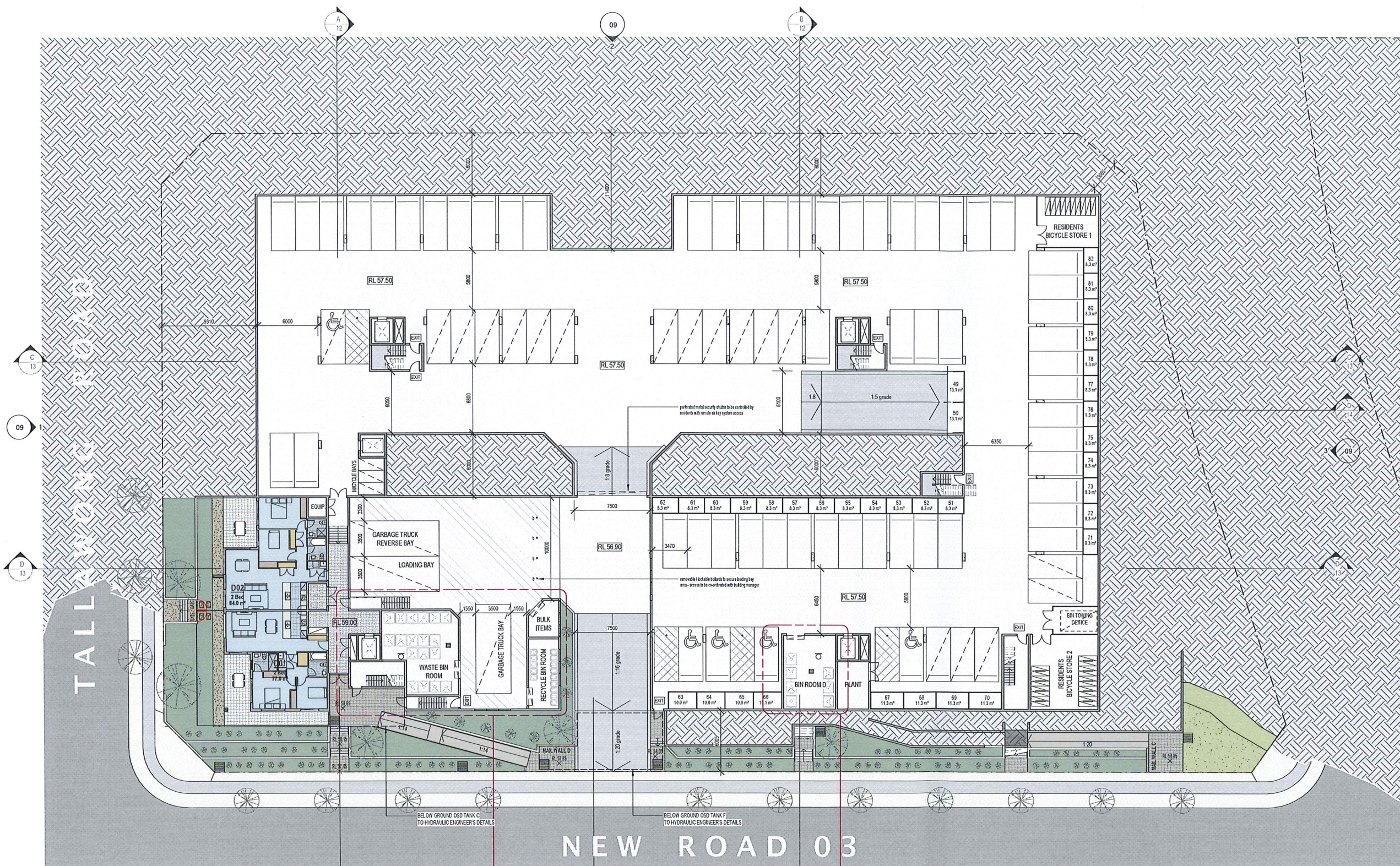
DEVELOPMENT APPLICATION



LOCATION MAP



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS

MAIL + FENCE DETAILS: REFER TO DWG NO. DA14

DRIVEWAY RAMP SECTIONS: REFER TO DWG NO. DA14

WASTE MANAGEMENT DETAILS: REFER TO DWG NO. 15

STORMWATER DETAILS + SITE LEVELS: REFER TO HYDRAULIC + CIVIL DRAWINGS

LANDSCAPE DETAILS: REFER TO LANDSCAPE DRAWINGS

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 www.architex.com.au
 Nominated Architect: Robert Del Pizzo NSW Reg. No. 3972

Project
PROPOSED RESIDENTIAL DEVELOPMENT

Project Address
 172 Tallawong Road, Rouse Hill

Client
 North Western Group Pty. Ltd.

Title
Basement Level 02 + Ground Floor Level (Block D)

Drawn	Scale	Checked
PDP	1 : 200	
Job No	Drawing No.	Issue
2428	03	D

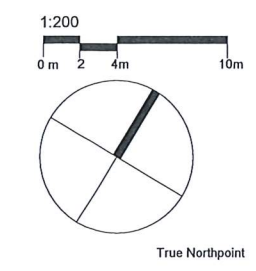
ROOM LEGEND

- 1 Bed
- 2 Bed
- 3 Bed

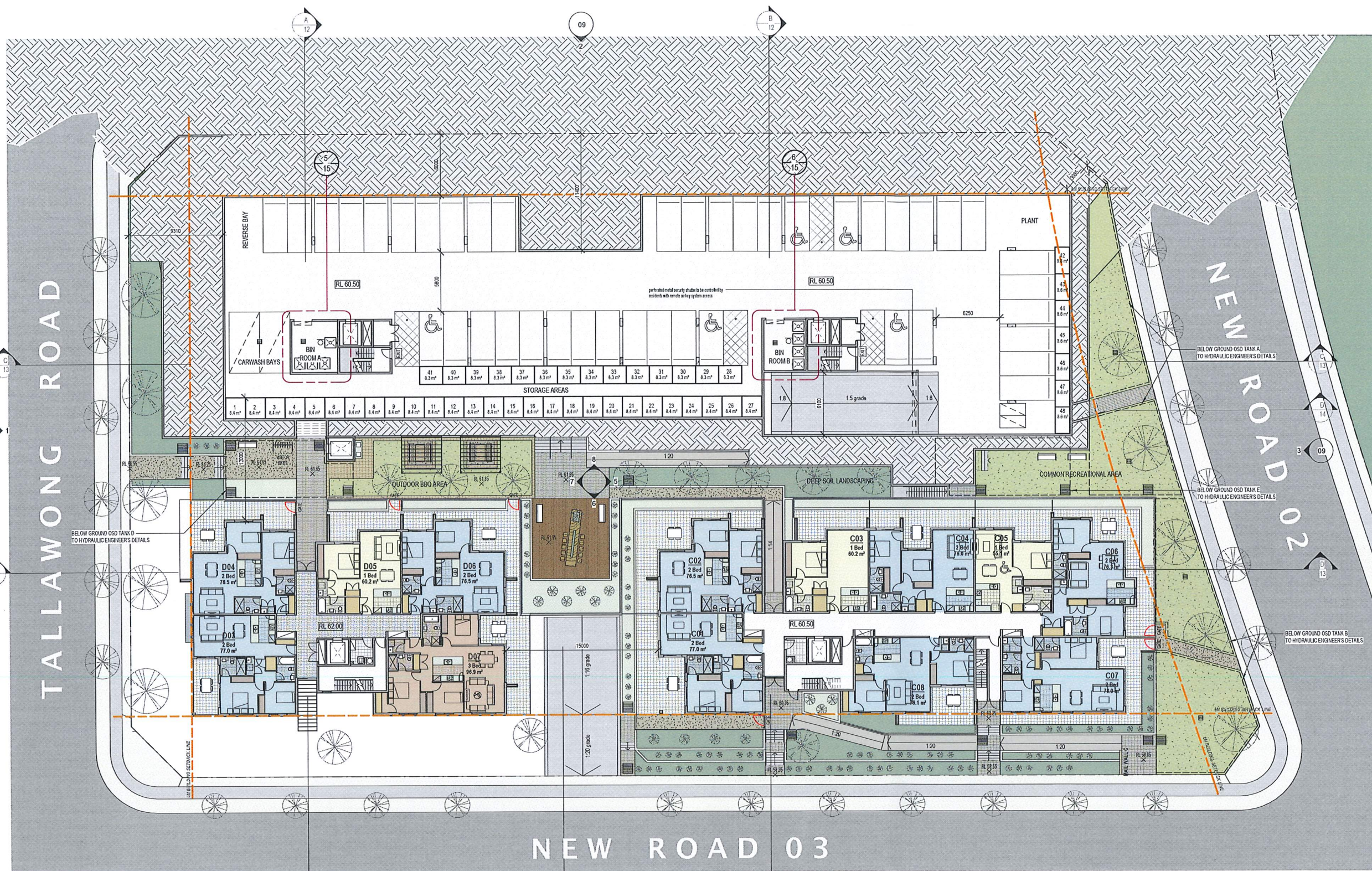
- NOTE:
- All security shutters to be controlled by residents with remote air key system access.
 - All underground parking areas to be painted white.
 - All storage areas located in the parking levels are enclosed with cyclone mesh fencing and doors/gates are hinged to swing in both directions.

Basement Level 02 + Ground Floor Level (Block D)
 1 : 200

DEVELOPMENT APPLICATION



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REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS

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Nominated Architect: Robert Del Razo
NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project	PROPOSED RESIDENTIAL DEVELOPMENT
Project Address	172 Tallawong Road, Rouse Hill
Client	North Western Group Pty. Ltd.
Title	Basement Level 01 + Ground Floor Level
Drawn	PDP
Scale	1:200
Checked	
Job No	2428
Drawing No.	04
Issue	D

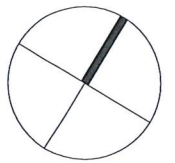
ROOM LEGEND

 1 Bed
 2 Bed
 3 Bed

- NOTE:
- All security shutters to be controlled by residents with remote air key system access.
 - All underground parking areas to be painted white.
 - All storage areas located in the parking levels are enclosed with cyclone mesh fencing and doors/gates are hinged to swing in both directions.

② Basement Level 01 + Ground Floor Level
1:200

1:200
0 m 2 4m 10m



True Northpoint

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS

MAIL + FENCE DETAILS: REFER TO DWG NO. DA14

STORMWATER DETAILS + SITE LEVELS: REFER TO HYDRAULIC + CIVIL DRAWINGS

LANDSCAPE DETAILS: REFER TO LANDSCAPE DRAWINGS

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19
A	Prelim. Issue to Client	18-02-19



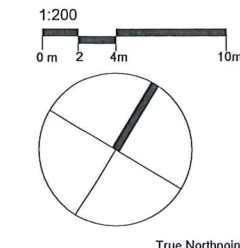
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Nominated Architect: Robert Del Razo
NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project	PROPOSED RESIDENTIAL DEVELOPMENT	
Project Address	172 Tallawong Road, Rouse Hill	
Client	North Western Group Pty. Ltd.	
Title	Level 01	
Drawn	Scale	Checked
PDP	1:200	
Job No	Drawing No.	Issue
2428	05	D

③ Level 01 + Level 02 (Block D)
1:200

ROOM LEGEND
 1 Bed
 2 Bed
 3 Bed



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



TALLAWONG ROAD

NEW ROAD 01

NEW ROAD 02

NEW ROAD 03

REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS

LANDSCAPE DETAILS: REFER TO LANDSCAPE DRAWINGS

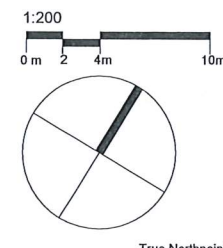
Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19
A	Prelim. Issue to Client	18-02-19

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- ROOM LEGEND**
- 1 Bed
 - 2 Bed
 - 3 Bed

DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Level 02		
Drawn PDP	Scale 1 : 200	Checked
Job No 2428	Drawing No. 06	Issue D



1:200
0m 2m 4m 10m
True Northpoint
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



ROOM LEGEND

	1 Bed
	2 Bed
	3 Bed

REFER TO TYPICAL UNIT LAYOUTS FOR POST-ADAPTABLE + FURNITURE LAYOUTS

LANDSCAPE DETAILS: REFER TO LANDSCAPE DRAWINGS

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19
A	Prelim. Issue to Client	18-02-19

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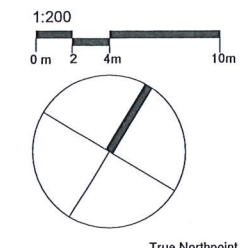
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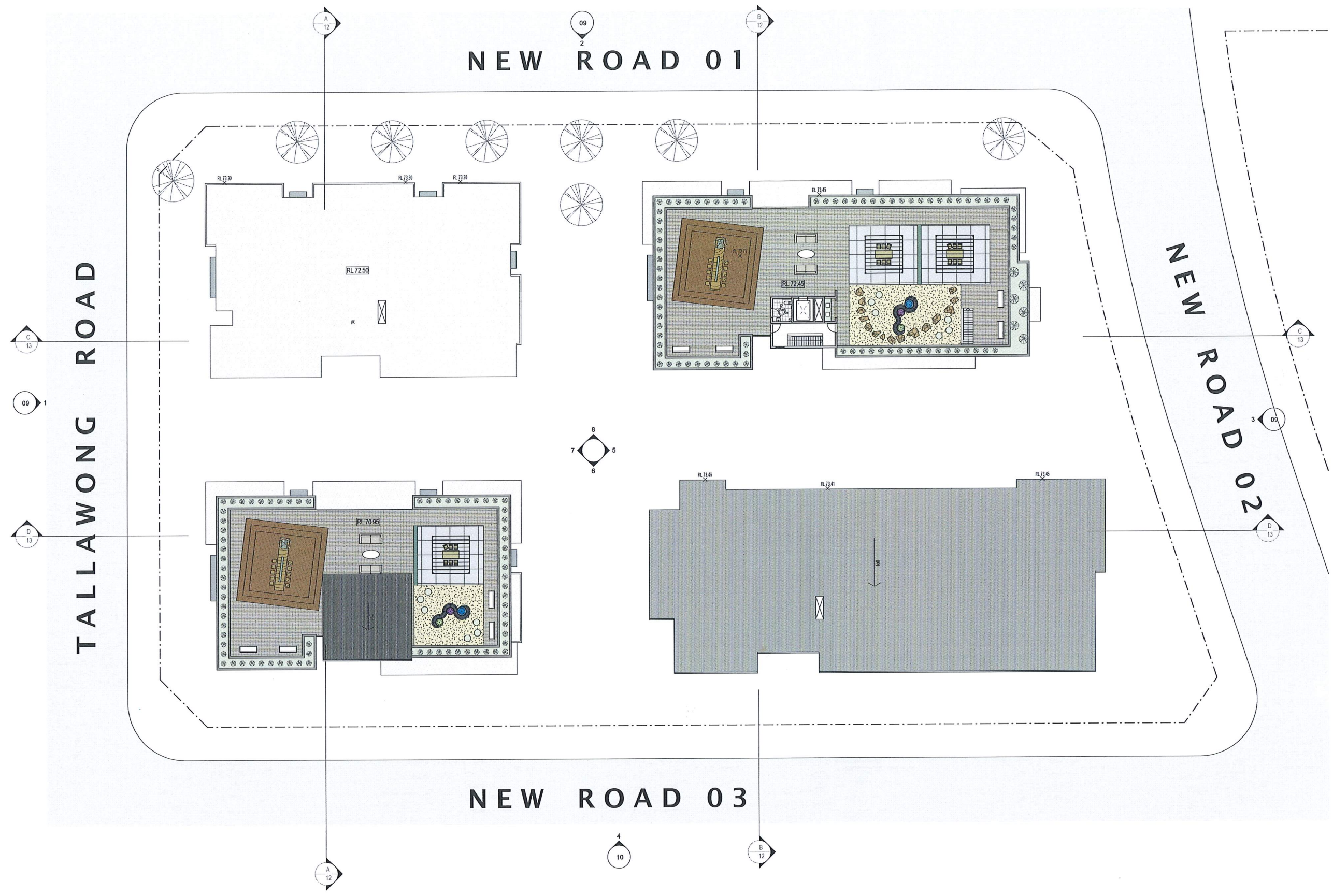
DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Level 03		
Drawn PDP	Scale 1:200	Checked
Job No 2428	Drawing No. 07	Issue D

⑤ Level 03 + Roof Level (Block D)
1:200



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



⑥ Roof Level
1:200

**LANDSCAPE DETAILS:
REFER TO LANDSCAPE DRAWINGS**

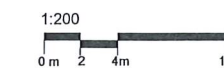
Issue	Issue description	Date
D	Development Application Issue	22.03.19
C	Prelim. Issue to Consultants	01.03.19
B	Prelim. Issue to Council	25.02.19
A	Prelim. Issue to Client	18.02.19

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Robert Del Razo
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DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Roof Level		
Drawn PDP	Scale 1:200	Checked
Job No 2428	Drawing No. 08	Issue D



① West Elevation - Tallawong Road
1:200



② North Elevation - New Road 01
1:200



③ East Elevation - New Road 02
1:200

Schedule of Materials and Finishes					
Code	Application	Manufacturer	Finish	Product ID / Description	Sample
F81	Facebrick 1	Austral	Ultra Smooth Bricks	Chill	
F82	Facebrick 2	Austral	Ultra Smooth Bricks	Jazz	
P1	Paint Finish 1	Dulux	Vivid White	SW1 G1	
P2	Paint Finish 2	Dulux	Deep Night	P42 A7	
P3	Paint Finish 3	Dulux	Milky Moon	S14 G2	
P4	Paint Finish 4	Dulux	Hunter's Gold	S12 H5	
P5	Paint Finish 5	Dulux	Spicy Beans	S17 E3	
C1	Wall Cladding 1	James Hardie	Soyon Stria cladding	404522 - 255mm wide	
		Dulux Painted	Deep Night	P42 A7	
C2	Wall Cladding 2	James Hardie	Soyon Stria cladding	404522 - 255mm wide	
		Dulux Painted	Milky Moon	S14 G2	
PC1	Windows / Handrails / Sunhoods / Screens	Dulux Duratec	Emerald Silver Pearl	9007024Q	
PC2	Parapets / Awnings	Aluminium	Wood Finish	Snow Gum (or similar)	
R1	Roof Sheeting 1	Colorbond	Colorbond Ironstone	Custom Orb	
R2	Roof Sheeting 2	Colorbond	Colorbond Shale Grey	Custom Orb	
F1	Compound Fence	MerakRT	Supalaten Wood Finish	Casuarina (or similar)	
B1	Retaining Wall	Boral	Split Face Block	200mm series Pearl Grey	

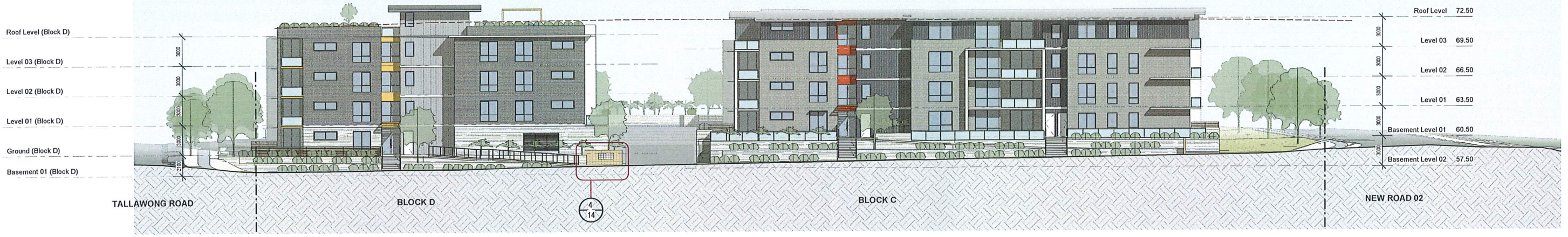
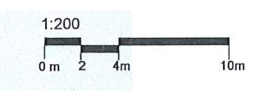
Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim Issue to Consultants	01-03-19
B	Prelim Issue to Council	25-02-19
A	Prelim Issue to Client	18-02-19

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Project	PROPOSED RESIDENTIAL DEVELOPMENT				
Project Address	172 Tallawong Road, Rouse Hill				
Client	North Western Group Pty. Ltd.				
Title	Site Elevations				
Drawn	PDP	Scale	1:200	Checked	
Job No	2428	Drawn No.	09	Issue	D

DEVELOPMENT APPLICATION



④ South Elevation - New Road 03
1:200



⑤ Internal West Elevation
1:200



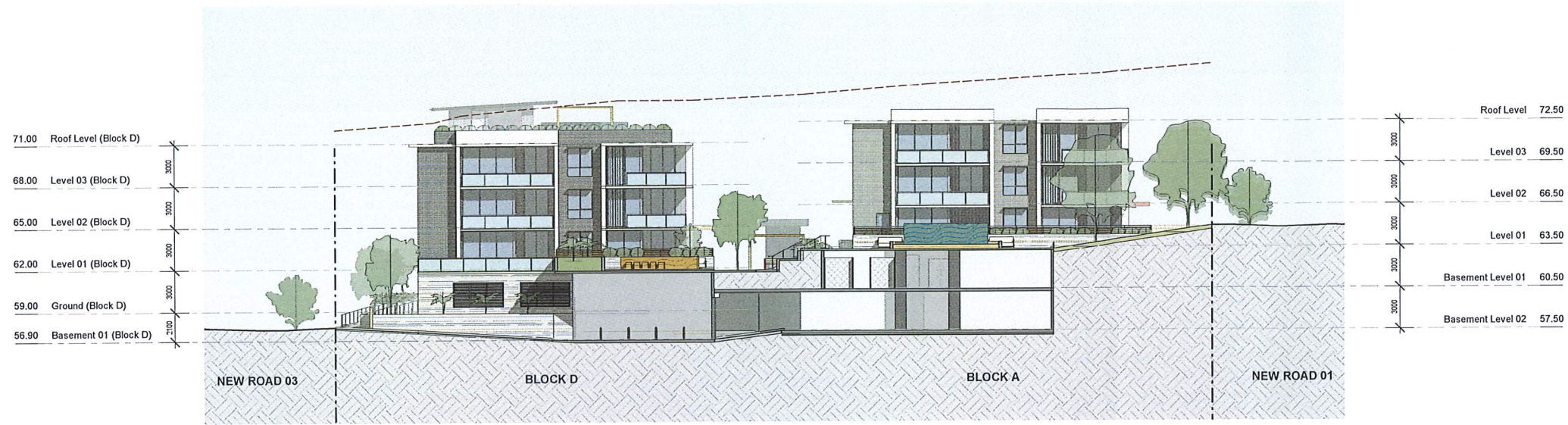
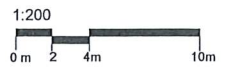
⑥ Internal North Elevation
1:200

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-03-19
A	Prelim. Issue to Client	18-02-19

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DEVELOPMENT APPLICATION

Project	PROPOSED RESIDENTIAL DEVELOPMENT	
Project Address	172 Tallawong Road, Rouse Hill	
Client	North Western Group Pty. Ltd.	
Title	Site Elevations	
Drawn	Scale	Checked
PDP	1:200	
Job No	Drawing No.	Issue
2428	10	D



7 Internal East Elevation
1:200



8 Internal South Elevation
1:200

Schedule of Materials and Finishes					
Code	Application	Manufacturer	Finish	Product ID / Description	Sample
F81	Facebrick 1	Austral	Ultra Smooth Bricks	CHI8	
F82	Facebrick 2	Austral	Ultra Smooth Bricks	Jazz	
P1	Paint Finish 1	Dulux	Vivid White	SW1 C1	
P2	Paint Finish 2	Dulux	Deep Night	F42 A7	
P3	Paint Finish 3	Dulux	Milton Moon	S14 C2	
P4	Paint Finish 4	Dulux	Hacker's Gold	S12 P5	
P5	Paint Finish 5	Dulux	Spicy Bears	S87 E3	
C1	Wall Cladding 1	James Hardie	Soyon Stria cladding	404522 - 255mm wide	
		Dulux Painted	Deep Night	F42 A7	
C2	Wall Cladding 2	James Hardie	Soyon Stria cladding	404522 - 255mm wide	
		Dulux Painted	Milton Moon	S14 C2	
PC1	Windows / Handrails / Sunhoods / Screens	Dulux Duratec	Derrity Silver Pearl	9007024Q	
PC2	Pergola / Awning	Aluminium	Wood Finish	Snow Gum (or similar)	
R1	Roof Sheeting 1	Colorbond	Colorbond Ironstone	Custom Orb	
R2	Roof Sheeting 2	Colorbond	Colorbond Shale Grey	Custom Orb	
F1	Courtyard Fence	MetalKIT	Supalatten Wood Finish	Casuarina (or similar)	
B1	Retaining Wall	Boral	Split Face Block	200mm series Pearl Grey	

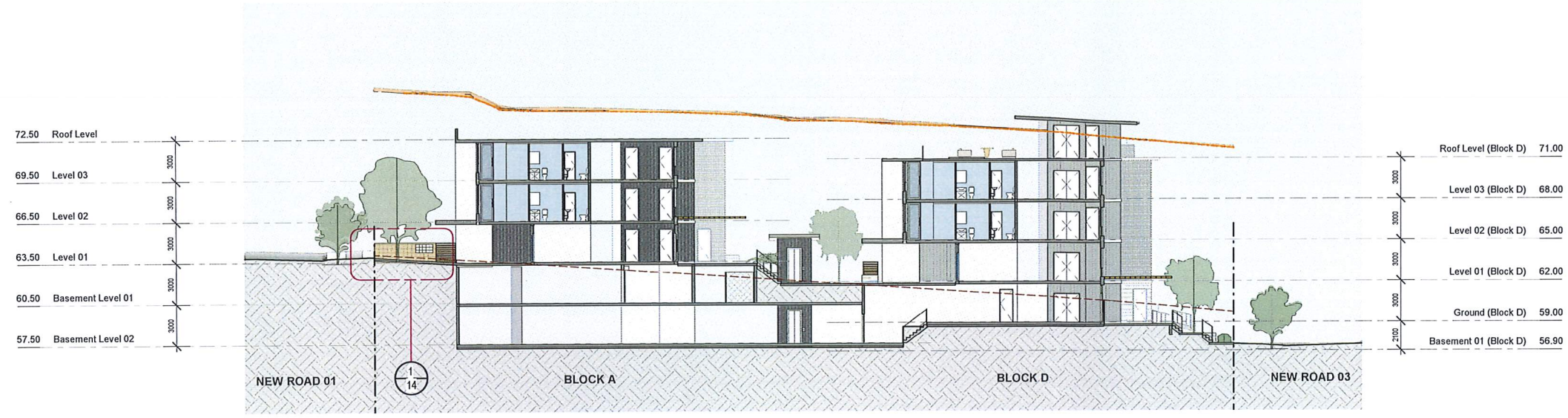
Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-03-19
A	Prelim. Issue to Client	18-03-19

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DEVELOPMENT APPLICATION

Project	PROPOSED RESIDENTIAL DEVELOPMENT	
Project Address	172 Tallawong Road, Rouse Hill	
Client	North Western Group Pty. Ltd.	
Title	Site Elevations	
Drawn	Scale	Checked
PDP	1:200	
Job No	Drawing No.	Issue
2428	11	D



(A) Section A - A
1:200



(B) Section B - B
1:200

ROOM LEGEND

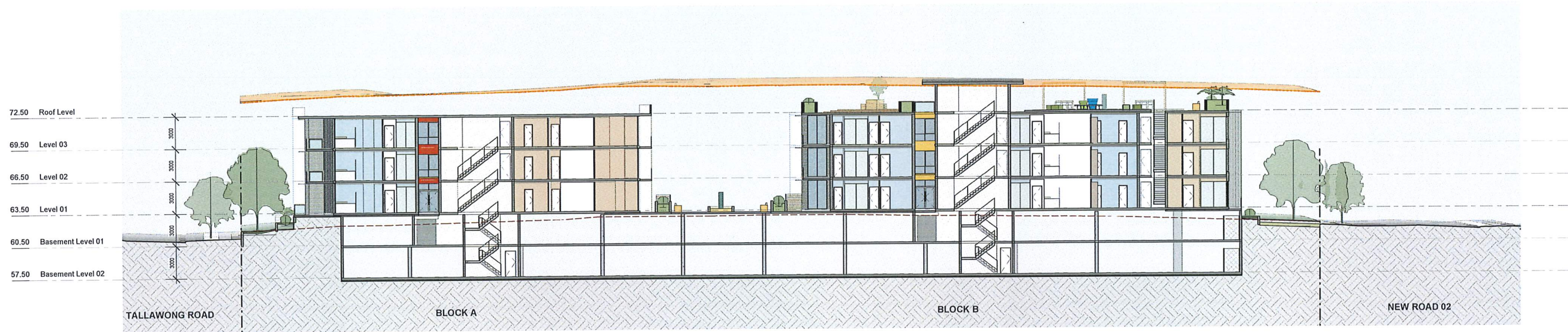
1 Bed
2 Bed
3 Bed

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19
A	Prelim. Issue to Client	18-02-19

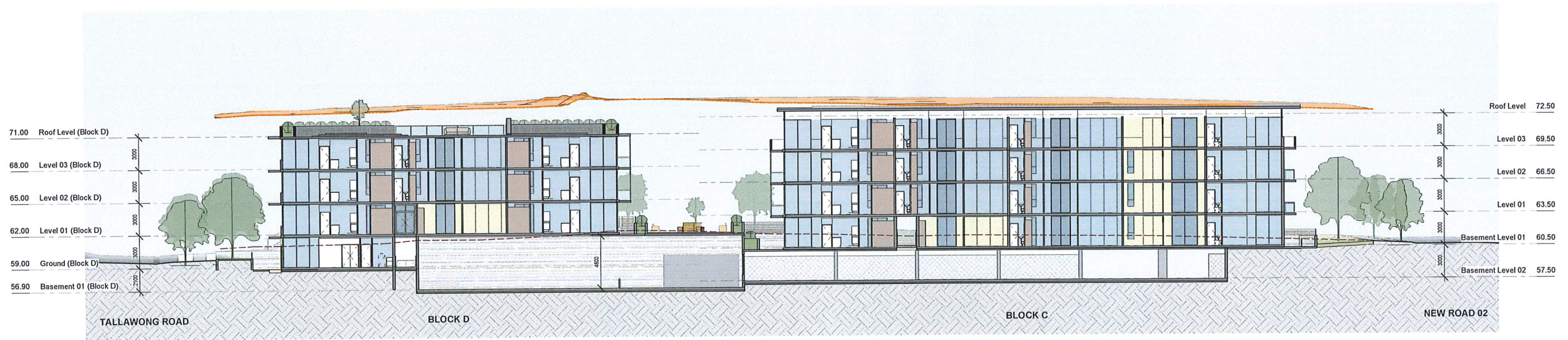
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 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Site Sections		
Drawn PDP	Scale 1:200	Checked
Job No 2428	Drawing No. 12	Issue D



© Section C - C
1 : 200



© Section D - D
1 : 200

ROOM LEGEND

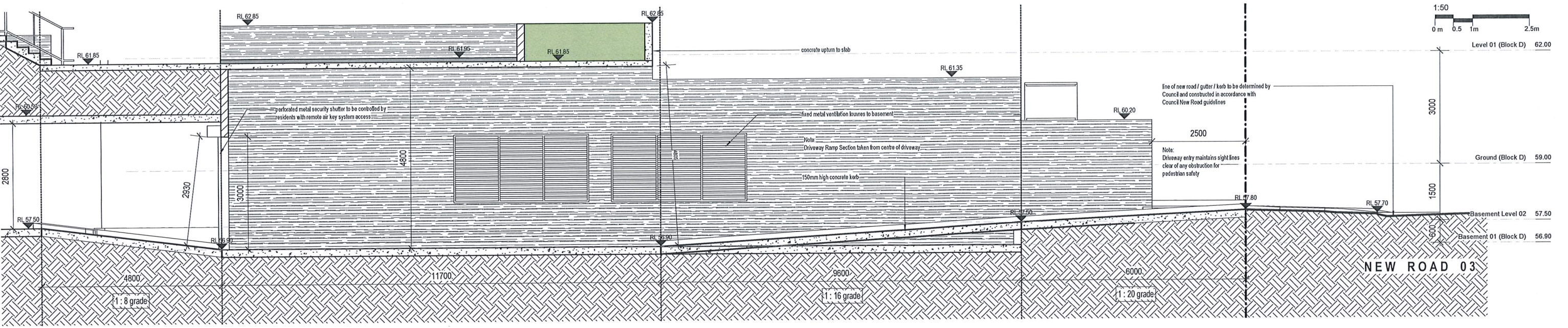
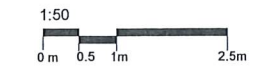
- 1 Bed
- 2 Bed
- 3 Bed

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19
A	Prelim. Issue to Client	18-02-19

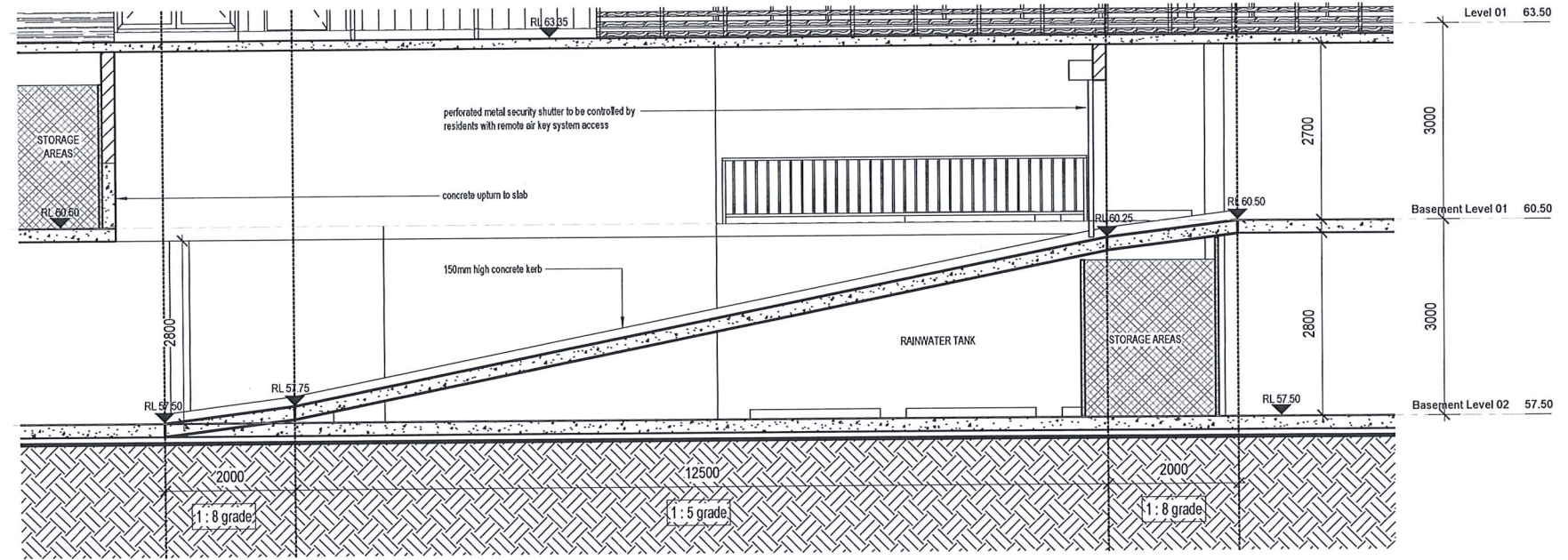
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 abn 32 003 315 142 M: 0418 402 919
 Level 3, 7/1 Parkes Street email@architex.com.au
 Parramatta NSW 2150 www.architex.com.au
 Nominated Architect: Robert Del Razo NSW Reg. No. 3972

DEVELOPMENT APPLICATION

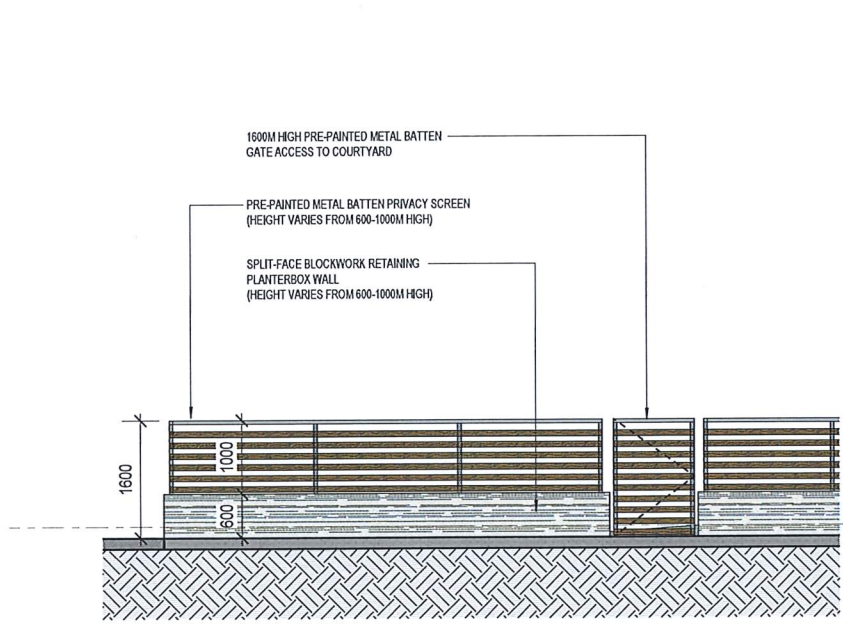
Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Site Sections		
Drawn PDP	Scale 1 : 200	Checked
Job No 2428	Drawing No. 13	Issue D



C Section thru Vehicular Entry / Exit
1:50



D Section thru Driveway Ramp
1:50

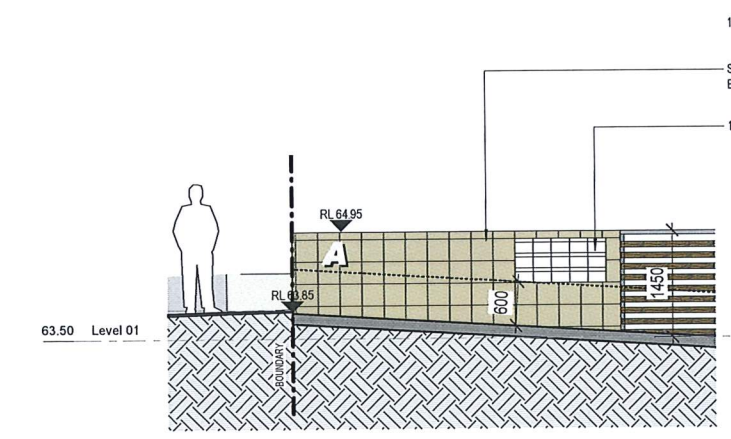


E Courtyard Fence Detail
1:50

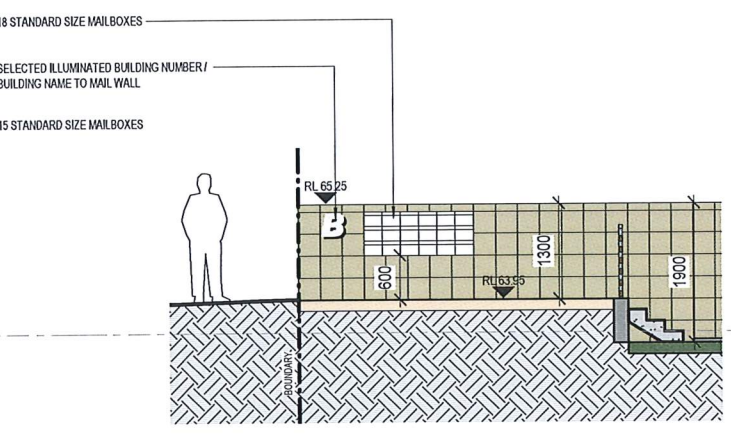
REFER TO TRAFFIC REPORT FOR FURTHER DETAILS

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

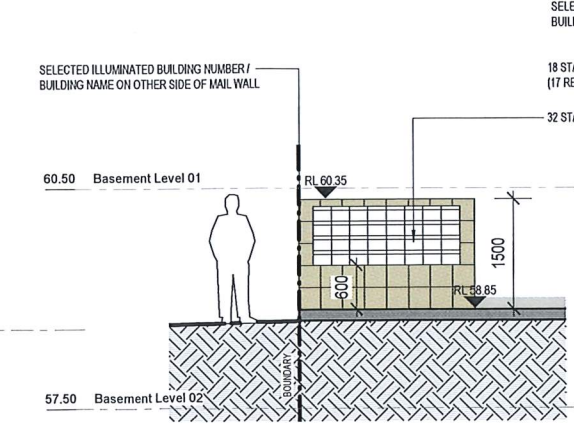
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 NSW Reg. No. 3972



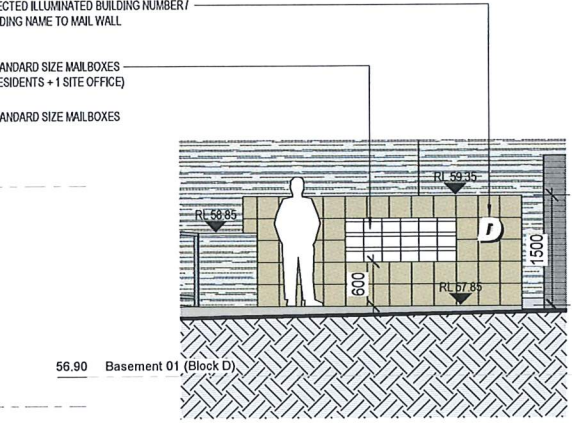
1 Mail Details - Block A
1:50



2 Mail Details - Block B
1:50



3 Mail Details - Block C
1:50

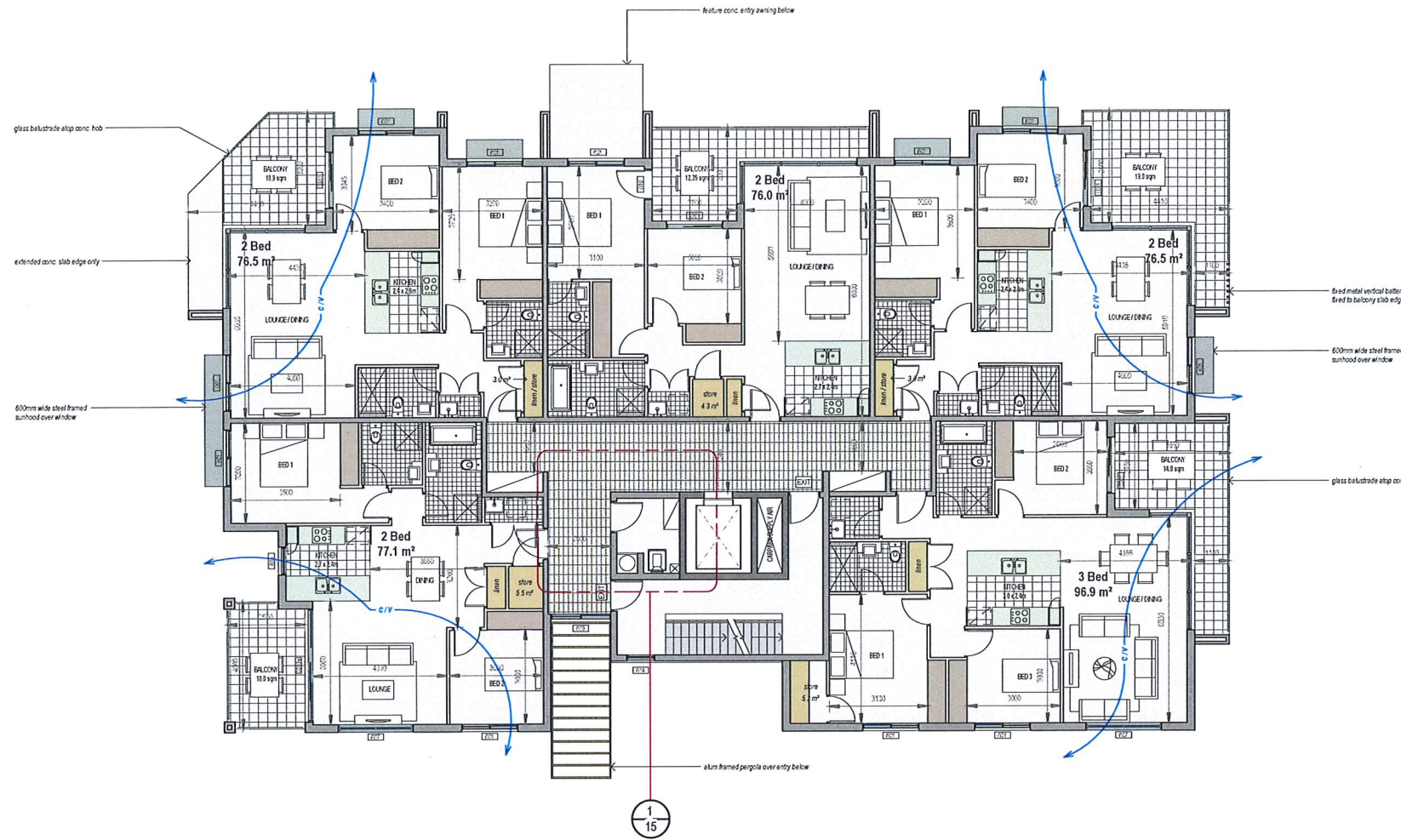


4 Mail Details - Block D
1:50

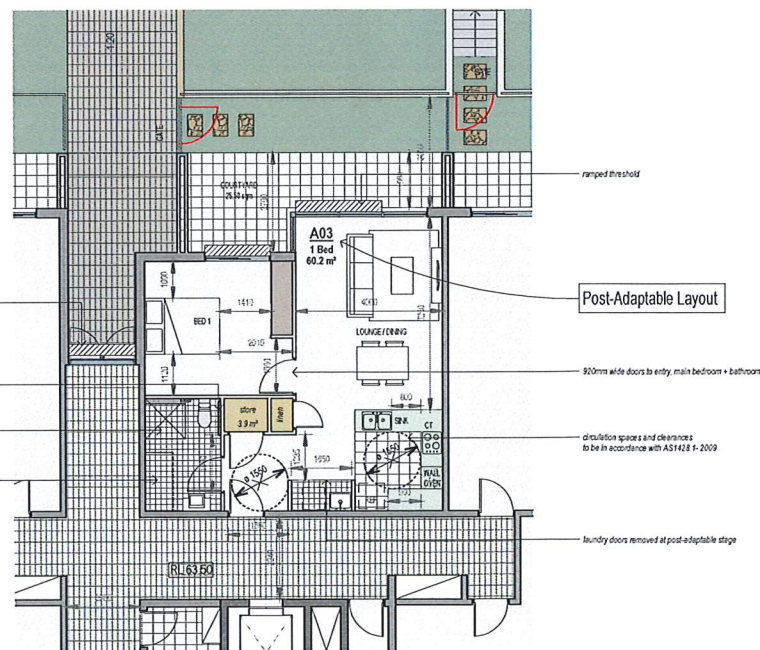
DEVELOPMENT APPLICATION

Project
 PROPOSED RESIDENTIAL DEVELOPMENT
 Project Address
 172 Tallawong Road, Rouse Hill
 Client
 North Western Group Pty. Ltd.
 Title
 Site Details

Drawn	Scale	Checked
PDP	1:50	
Job No	Drawing No.	Issue
2428	14	D



1 Typical Level - Block A
1 : 100



2 Post-Adaptable Layout - Level 01 - Block A
1 : 100

General Notes

- 35mm ramped threshold to ramped threshold to external sliding doors
- all floor surfaces to be slip resistant in accordance with AS/NZS 3661.1
- door openings to be positioned in wall to allow circulation adjacent to the doorway in accordance with AS1428.1-2009

Electrical Notes

- Hot Water System to deliver hot water at a maximum of 50% in accordance with AS4299
- allow for illumination levels in accordance with AS4299
- switch & power points to be located in accordance with AS4299
- a telephone outlet to be provided in the lounge/dining area adjacent to a G.P.O.

Laundry Notes

- laundry tub dimension & height to comply with AS 4299
- taps to be provided at side of laundry tub
- provide a double G.P.O.
- all units to have wall mounted drying cabinets

Bathroom Notes

- select slip resistant ceramic floor tiles laid to fall on screed, provide waterproof membrane in accordance with AS 3740 1994
- taps set to be capstan or lever handles with single outlet
- locate toilet paper holder in accordance with AS 1428.1 - 2009
- accessible toilet in accordance with AS 1428.1-2009
- provide for adjustable, detachable hand held shower rose mounted on a slider grab rail. Clearance & heights to be in accordance with AS 1428.1-2009
- vanity clearance to comply with AS 1428.1-2009

Kitchen Notes

- kitchen sink bowl to be 150mm deep maximum
- sink & adjacent work space to be adjustable in height (750-850mm) or replaceable
- install floor/wall tiling under & behind removable/adjustable kitchen benches
- tap set shall be capstan or lever handles or lever mix
- cook tops to include either front or side controls with raised cross bars
- cook tops to include isolating switch
- tap set to be located 300mm in front of sink

CROSS-VENTILATION TO UNITS		
	Total	%
CROSS-VENTILATED UNITS	50	61%
SINGLE ASPECT UNITS	32	39%

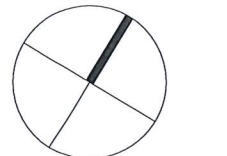
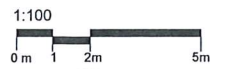
POST-ADAPTABLE UNITS		
	Total	%
YES	9	11%
NO	73	89%

TOTAL NUMBER OF EXTERNAL KITCHENS = 25 (30.5%)

LEGEND

INDICATES CALCULATED INTERNAL UNIT STORAGE AREA

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Window Schedule

No.	Width	Height	Description
SD01	1800	2765	SLIDING DOOR - 2 PANEL
SD01a	1800	2700	SLIDING DOOR - 2 PANEL
SD01b	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2765	SLIDING DOOR - 2 PANEL
SD02a	2400	2700	SLIDING DOOR - 2 PANEL
SD02b	2400	2400	SLIDING DOOR - 2 PANEL
SD03a	3610	2765	SLIDING DOOR - 3 PANEL
SD04	1500	2765	SLIDING DOOR - 2 PANEL
W01	1800	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W02	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W03	1910	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W04	1800	1800	AWNING / FIXED
W05	1800	1500	AWNING / FIXED
W06	2400	900	AWNING / FIXED
W07	2400	900	AWNING / FIXED
W08	2400	1800	AWNING / FIXED
W09	1800	900	AWNING / FIXED
W10	970	2765	GLASS DOOR
W10a	970	2700	GLASS DOOR
W10b	970	2400	GLASS DOOR
W11	900	900	AWNING - OPAQUE GLASS
W12	600	2100	AWNING + LOWLIGHT
W13	970	2100	AWNING + LOWLIGHT
W14	900	1500	AWNING
W14a	900	1800	AWNING

PLEASE NOTE:
WINDOW ASSEMBLIES ARE FULL HEIGHT AND NOT INCLUDED IN WINDOW SCHEDULE - REFER TO PLANS + ELEVATIONS FOR OPENING WIDTHS

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH AS1482.1 - 2009 DESIGN FOR ACCESS AND MOBILITY

APARTMENT NOTES (RESIDENTIAL & SERVICED) ACCESSIBLE WCs / SHOWERS WILL REQUIRE:

- ENSURE THE PAN SEAT TO HAVE 30% LUMINANCE CONTRAST AGAINST BACKGROUND TILED FLOOR SURFACE.
- LEVER CONTROLS FOR SHOWER AND BASIN (BATH TUB) TO BE NO GREATER THAN 300mm FROM FRONT OF TAPS.
- 1 x CLOTHING HANGING DEVICE TO BE INSTALLED BETWEEN 1200mm - 1750mm FROM FFL AND AT LEAST 500mm FROM AN INTERNAL CORNER FOR WC.
- DOOR TO INCLUDE AN IN-USE INDICATOR AND A BOLT / CATCH THAT CAN BE OPENED FROM OUTSIDE IN AN EMERGENCY. IF SMB TURN IS USED THE HANDLE IS TO 45mm FROM CENTRE.
- DOOR OPERATION TO BE LIGHTWEIGHT.
- LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- GPOs TO BE INSTALLED BETWEEN 600 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- ROCKER ACTION / TOGGLE TYPE SWITCHES AT LEAST 30 x 30mm DIMENSIONS ARE REQUIRED TO ASSIST PEOPLE WITH DEXTERITY IMPAIRMENT.
- ENSURE ALL ACCESSIBLE SHOWERS TO HAVE SHOWER RAIL / CURTAIN INSTALLED.
- ENSURE HEIGHT OF THE HOSE WALL OUTLET TO BE 700mm HEIGHT ABOVE FFL COMPLIANT WITH AS1428.1 - 1948 TO ENSURE SUITABLE HOSE LENGTH WHEN SHOWERING. TO ALSO INCLUDE SUITABLE BACK-FLOW PREVENTION DEVICE.
- SLIP RESISTANCE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING.

GENERAL NOTES

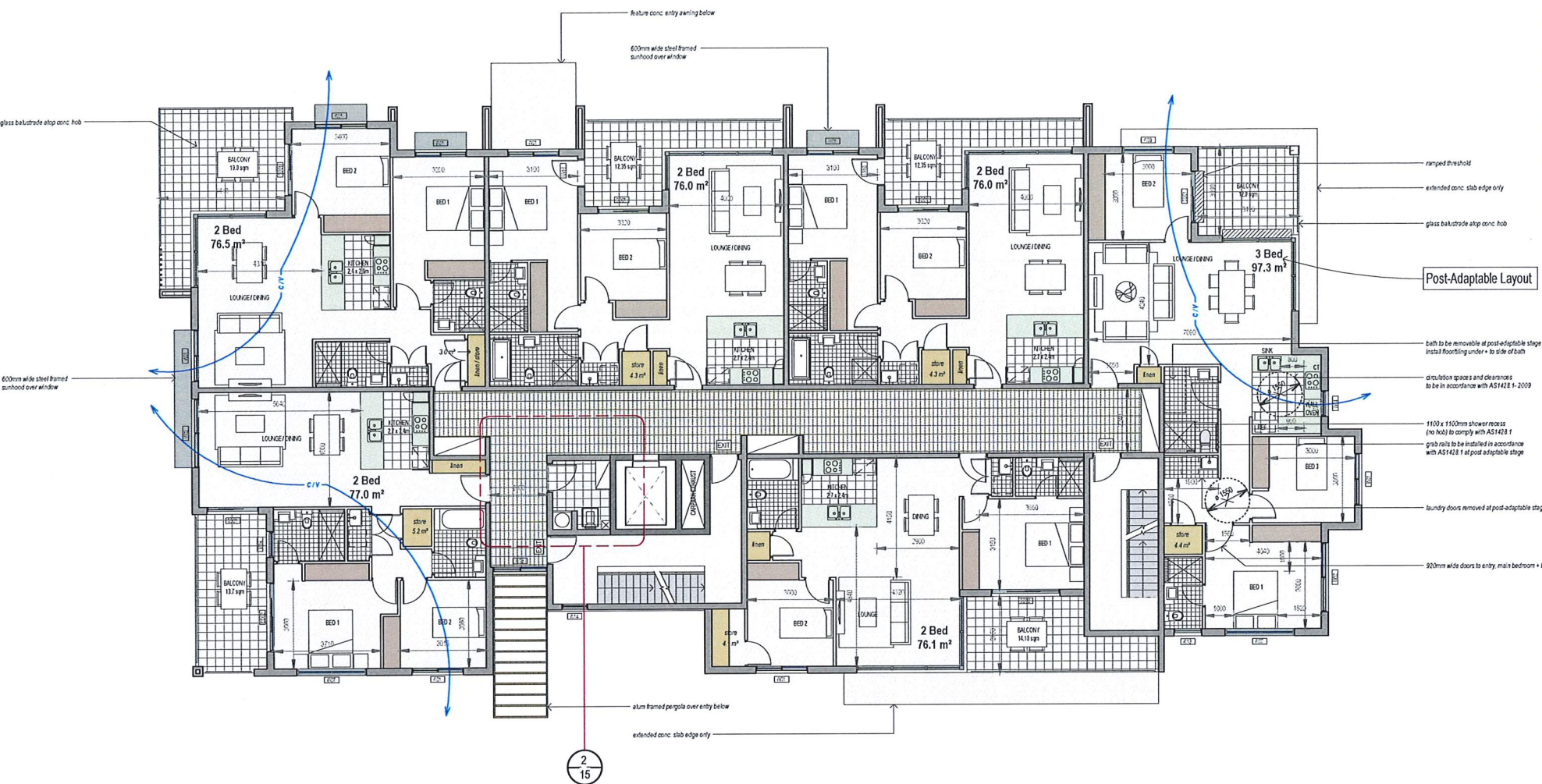
- PROVIDE DOOR PEEPHOLE AT 1220mm ABOVE FFL.
- SLIP RESISTANCE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING TO BATHROOM, KITCHENETTE, LAUNDRY AND BALCONY AS REQUIRED BY AS4299 CLAUSE 4.5.4
- AT LEAST ONE GPO IN EACH ROOM AREA TO BE INSTALLED BETWEEN 600 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM CORNER.
- PROVIDE 1 x DOUBLE GPO WITHIN 300mm OF FRONT OF KITCHEN WORK SURFACE. TO BE REACHABLE BY A PERSON USING A WHEELCHAIR.
- ALL LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL & 500mm MINIMUM FROM INTERNAL CORNER.
- ALL OTHER ELECTRICAL CONTROLS TO KEY FEATURES (EG. INTERCOM, SECURITY SWIPE, A/C UNIT SAFE SOUND SYSTEM ETC) TO BE INSTALLED WITH OPERATIVE PART BETWEEN 900 - 1250mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- PROVIDE 1 x DOUBLE GPO BESIDE ADAPTABLE UNIT BATHROOM MIRROR AND ALSO WITHIN LAUNDRY IN ACCORDANCE WITH AS4299.
- ENSURE ANY PARTITION WALLS / FIXTURES TO BE RELOCATED / REMOVED AT POST ADAPTATION DO NOT HAVE ANY ELECTRICAL / GAS OR PLUMBING SERVICES INSTALLED AT PRE-ADAPTATION FOR EASE OF ADAPTATION IN ACCORDANCE WITH AS4299.
- PROVIDE EXTRA CAPPED OFF SERVICES WITH SUITABLE SET-OUTS AND CLEARANCES TO ALLOW FOR RELOCATION OF FIXTURES IN POST ADAPTATION LOCATIONS. COMPLIANT WITH AS1428.1.
- WALL STRENGTHENING AROUND PAN, SHOWER AND BATH AND WATERPROOFING OF WALLS TO BE PROVIDED AT PRE-ADAPTATION STAGE IN ACCORDANCE WITH AS1428.1, CLAUSE 4.4.4b.
- WHERE APPLICABLE, ENSURE CARPET FLEET HEIGHT IS NO MORE THAN 11mm WITH 4mm MINIMUM BACKING SURFACE (COMPLIANT WITH ODA FRENCHES STANDARD).

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

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 Nominated Architect: Robert Del Rago NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Typical Unit Layouts - Block A		
Drawn PDP	Scale 1 : 100	Checked D
Job No 2428	Drawing No DA16	Issue

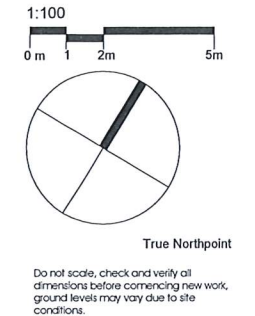


1 Typical Level - Block B
1:100

CROSS-VENTILATION TO UNITS		
	Total	%
CROSS-VENTILATED UNITS	50	61%
SINGLE ASPECT UNITS	32	39%

POST-ADAPTABLE UNITS		
	Total	%
YES	9	11%
NO	73	89%

TOTAL NUMBER OF EXTERNAL KITCHENS = 25 (30.5%)



Window Schedule			
No.	Width	Height	Description
SD01	1800	2765	SLIDING DOOR - 2 PANEL
SD01a	1800	2700	SLIDING DOOR - 2 PANEL
SD01b	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2765	SLIDING DOOR - 2 PANEL
SD02a	2400	2700	SLIDING DOOR - 2 PANEL
SD02b	2400	2400	SLIDING DOOR - 2 PANEL
SD03a	3610	2765	SLIDING DOOR - 3 PANEL
SD04	1600	2765	SLIDING DOOR - 2 PANEL
W01	1800	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W02	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W03	1910	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W04	1800	1800	AWNING / FIXED
W05	1800	1500	AWNING / FIXED
W06	2400	900	AWNING / FIXED
W07	2400	900	AWNING / FIXED
W08	2400	1800	AWNING / FIXED
W09	1800	900	AWNING / FIXED
W10	970	2765	GLASS DOOR
W10a	970	2700	GLASS DOOR
W10b	970	2400	GLASS DOOR
W11	900	900	AWNING - OPAQUE GLASS
W12	600	2100	AWNING + LOWLIGHT
W13	970	2100	AWNING + LOWLIGHT
W14	900	1500	AWNING
W14a	900	1800	AWNING

LEGEND

INDICATES CALCULATED INTERNAL UNIT STORAGE AREA

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH AS1482.1 - 2009 DESIGN FOR ACCESS AND MOBILITY

APARTMENT NOTES (RESIDENTIAL & SERVICED) ACCESSIBLE WCs / SHOWERS WILL REQUIRE:

- ENSURE THE PAN SEAT TO HAVE 30% LUMINANCE CONTRAST AGAINST BACKGROUND TILED FLOOR SURFACE.
- LEVER CONTROLS FOR SHOWER AND BASIN (BASIN LEVER TO BE NO GREATER THAN 300mm FROM FRONT OF TAPS).
- 1 x CLOTHING HANGING DEVICE TO BE INSTALLED BETWEEN 1200mm - 1350mm FROM FFL AND AT LEAST 500mm FROM INTERNAL CORNER FOR WC.
- DOOR TO INCLUDE AN IN-HOUSE INDICATOR AND A BOLT / CATCH THAT CAN BE OPERATED FROM OUTSIDE BY AN EMERGENCY. IF SWIB TURN IS USED THE HANDLE IS TO 45mm FROM CENTRE.
- DOOR OPERATION TO BE LIGHTWEIGHT.
- LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- GPOs TO BE INSTALLED BETWEEN 600 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- ROCKER ACTION / TOGGLE TYPE SWITCHES AT LEAST 30 x 30mm DIMENSIONS ARE REQUIRED TO ASSIST PEOPLE WITH DEXTERITY IMPAIRMENT.
- ENSURE ALL ACCESSIBLE SHOWERS TO HAVE SHOWER RAIL / CURTAIN INSTALLED.
- ENSURE HEIGHT OF THE HOSE WALL OUTLET TO BE 700mm HEIGHT ABOVE FFL, COMPLIANT WITH AS1428.1 - fig 4.8 TO ENSURE SUITABLE HOSE LENGTH WHEN SHOWERING. TO ALSO INCLUDE SUITABLE BACK-FLOOR PREVENTION DEVICE.
- SLIP-RESISTANCE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING.

GENERAL NOTES

- PROVIDE DOOR PEEPHOLE AT 1220mm ABOVE FFL.
- SLIP-RESISTANCE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING TO BATHROOM, KITCHENETTE, LAUNDRY AND BALCONY AS REQUIRED IN AS4299 CLAUSE 4.5.4
- AT LEAST ONE GPO IN EACH KEY ROOM / AREA TO BE INSTALLED BETWEEN 600 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM CORNER.
- PROVIDE 1 x DOUBLE GPO WITHIN 300mm OF FRONT OF KITCHEN WORK SURFACE. TO BE REACHABLE BY A PERSON USING A WHEELCHAIR.
- ALL LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL & 500mm MINIMUM FROM INTERNAL CORNER.
- ALL OTHER ELECTRICAL CONTROLS / KEY FEATURES (EG. INTERCOM, SECURITY SWIRE, AC UNIT SAFE SOUND SYSTEM ETC) TO BE INSTALLED WITH OPERATING PART BETWEEN 900 - 1250mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- PROVIDE 1 x DOUBLE GPO BESIDE ADAPTABLE UNIT BATHROOM MIRROR AND ALSO WITHIN LAUNDRY IN ACCORDANCE WITH AS4299.
- ENSURE ANY PARTITION WALLS / FIXTURES TO BE RELOCATED / REMOVED AT POST ADAPTATION DO NOT HAVE ANY ELECTRICAL / GAS OR PLUMBING SERVICES INSTALLED AT PRE-ADAPTATION FOR EASE OF ADAPTATION IN ACCORDANCE WITH AS4299.
- PROVIDE EXTRA CAPPED OFF SERVICES WITH SUITABLE SET-OUTS AND CLEARANCES TO ALLOW FOR RELOCATION OF FIXTURES IN POST-ADAPTATION LOCATIONS. COMPLIANT WITH AS1428.1.
- WALL STRENGTHENING AROUND PAN, SHOWER AND BATH AND WATERPROOFING OF WALLS TO BE PROVIDED AT PRE-ADAPTATION STAGE IN ACCORDANCE WITH AS1428.1 CLAUSE 4.4.4b.
- WHERE APPLICABLE, ENSURE CARPET FLEA HEIGHT IS 100 MMSE THAN 11mm WITH 4mm MAXIMUM BACKING SURFACE (COMPLIANT WITH ODA PRESSURE STANDARD).

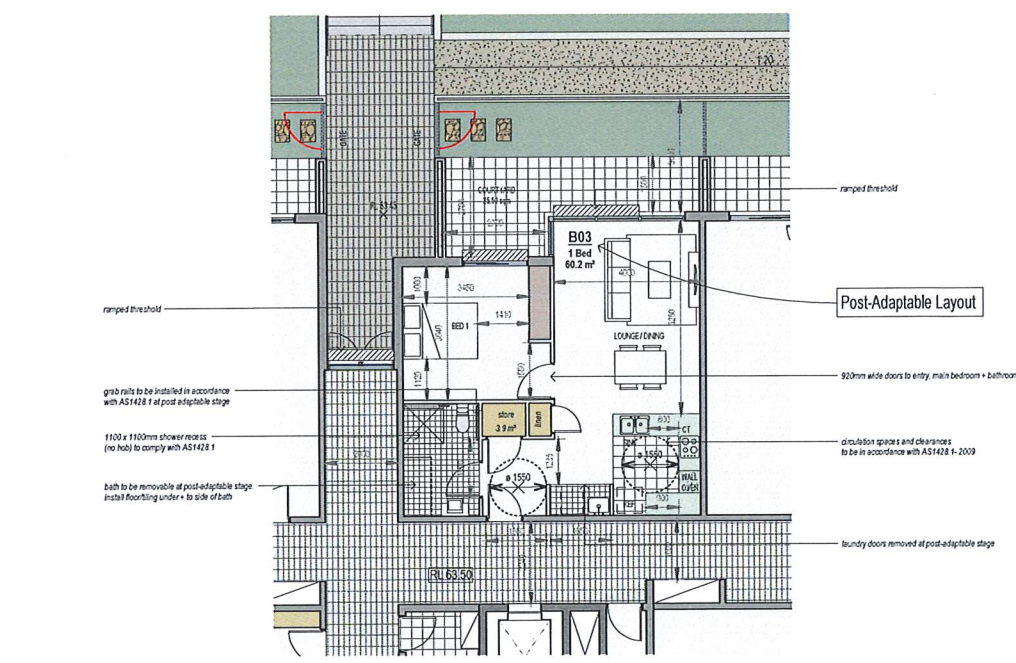
PLEASE NOTE: WINDOW ASSEMBLIES ARE FULL HEIGHT AND NOT INCLUDED IN WINDOW SCHEDULE - REFER TO PLANS + ELEVATIONS FOR OPENING WIDTHS

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

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 Parramatta NSW 2150 www.architex.com.au
 Nominated Architect: Robert Del Plaza
 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project	PROPOSED RESIDENTIAL DEVELOPMENT
Project Address	172 Tallawong Road, Rouse Hill
Client	North Western Group Pty. Ltd.
Title	Typical Unit Layouts - Block B
Drawn	PDP
Scale	1:100
Checked	
Job No	2428
Drawing No.	17
Issue	D



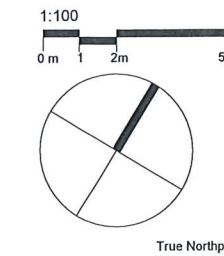
2 Post-Adaptable Layout - Level 01 - Block B
1:100

- General Notes**
- 35mm ramped threshold to ramped threshold to external sliding doors
 - all floor surfaces to be slip resistant in accordance with AS/NZS 3661.1
 - door openings to be positioned in wall to allow circulation adjacent to the doorway in accordance with AS1428.1-2009
- Electrical Notes**
- Hot Water System to deliver hot water at a maximum of 50% in accordance with AS4299
 - allow for illumination levels in accordance with AS4299
 - switch & power points to be located in accordance with AS4299
 - a telephone outlet to be provided in the lounge/dining area adjacent to a G.P.O.
- Laundry Notes**
- laundry tub dimension & height to comply with AS 4299
 - taps to be provided at side of laundry tub
 - provide a double G.P.O.
 - all units to have wall mounted drying cabinets
- Bathroom Notes**
- select slip resistant ceramic floor tiles laid to fall on screed, provide waterproof membrane in accordance with AS 3740 1994
 - taps set to be capstan or lever handles with single outlet
 - locate toilet paper holder in accordance with AS 1428.1 - 2009
 - accessible toilet in accordance with AS 1428.1-2009
 - provide for adjustable, detachable hand held shower rose mounted on a slider grab rail. Clearance & heights to be in accordance with AS 1428.1-2009
 - vanity clearance to comply with AS 1428.1-2009
- Kitchen Notes**
- kitchen sink bowl to be 150mm deep maximum
 - sink & adjacent work space to be adjustable in height (750-850mm) or replaceable
 - install floor/wall tiling under & behind removable/adjustable kitchen benches
 - tap set shall be capstan or lever handles or lever mix
 - cook tops to include either front or side controls with raised cross bars
 - cook tops to include isolating switch
 - tap set to be located 300mm in front of sink

CROSS-VENTILATION TO UNITS		
	Total	%
CROSS-VENTILATED UNITS	50	61%
SINGLE ASPECT UNITS	32	39%

POST-ADAPTABLE UNITS		
	Total	%
YES	9	11%
NO	73	89%

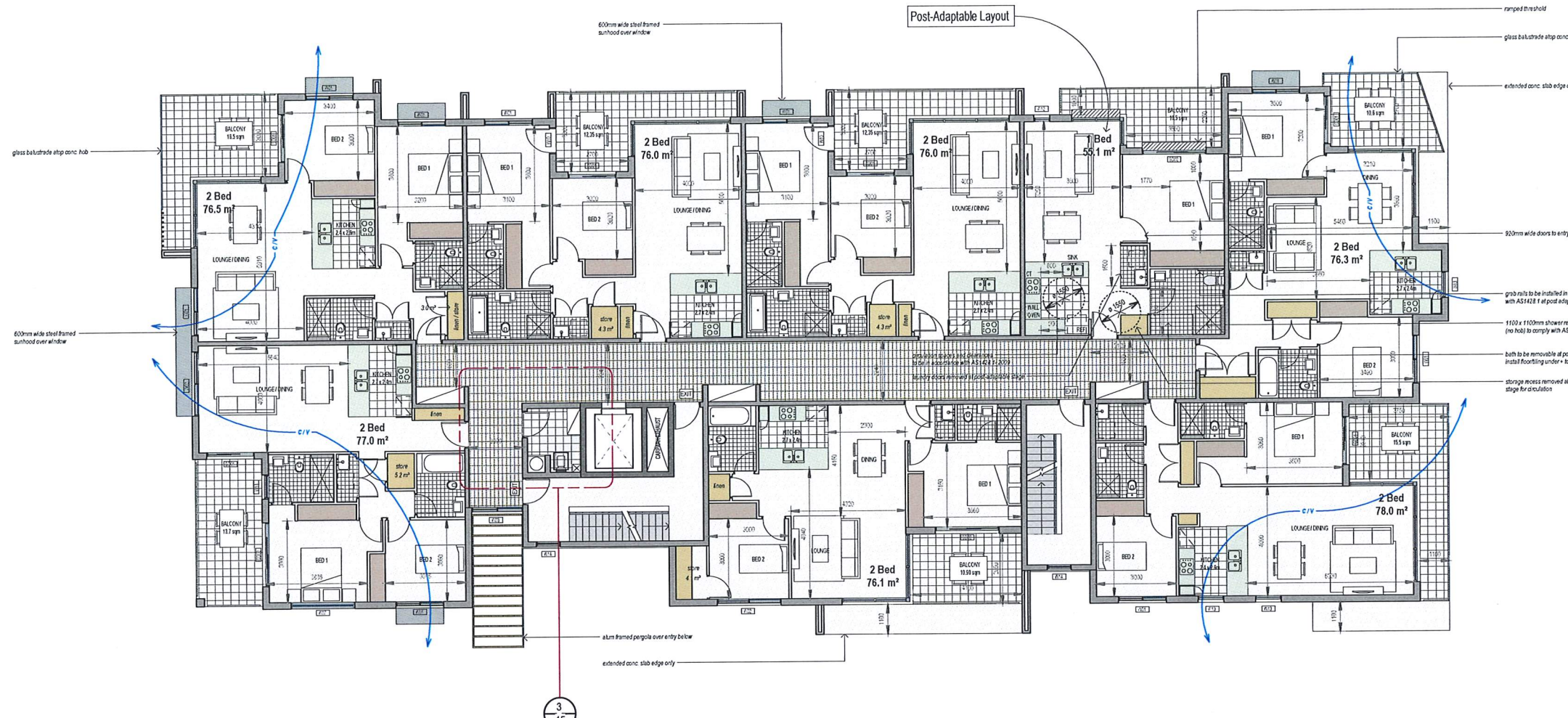
TOTAL NUMBER OF EXTERNAL KITCHENS = 25 (30.5%)		
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Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Window Schedule			
No.	Width	Height	Description
SD01	1800	2765	SLIDING DOOR - 2 PANEL
SD01a	1800	2700	SLIDING DOOR - 2 PANEL
SD01b	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2765	SLIDING DOOR - 2 PANEL
SD02a	2400	2700	SLIDING DOOR - 2 PANEL
SD02b	2400	2400	SLIDING DOOR - 2 PANEL
SD03a	3610	2765	SLIDING DOOR - 3 PANEL
SD04	1600	2765	SLIDING DOOR - 2 PANEL
W01	1800	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W02	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W03	1910	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W04	1800	1800	AWNING / FIXED
W05	1800	1500	AWNING / FIXED
W06	2400	900	AWNING / FIXED
W07	2400	900	AWNING / FIXED
W08	2400	1800	AWNING / FIXED
W09	1800	900	AWNING / FIXED
W10	970	2765	GLASS DOOR
W10a	970	2700	GLASS DOOR
W10b	970	2400	GLASS DOOR
W11	900	900	AWNING - OPAQUE GLASS
W12	600	2100	AWNING + LOWLIGHT
W13	970	2100	AWNING + LOWLIGHT
W14	900	1500	AWNING
W14a	900	1800	AWNING

PLEASE NOTE: WINDOW ASSEMBLIES ARE FULL HEIGHT AND NOT INCLUDED IN WINDOW SCHEDULE. REFER TO PLANS + ELEVATIONS FOR OPENING WIDTHS



LEGEND

INDICATES CALCULATED INTERNAL UNIT STORAGE AREA

NOTE: All units to have wall mounted drying cabinets fixed over washing machine in laundry

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH AS1482.1 - 2009 DESIGN FOR ACCESS AND MOBILITY

APARTMENT NOTES (RESIDENTIAL & SERVICED) ACCESSIBLE WC's / SHOWERS WILL REQUIRE:

- ENSURE THE PAN SEAT TO HAVE 30% LUMINANCE CONTRAST AGAINST BACKGROUND TILED FLOOR SURFACE.
- LEVER CONTROLS FOR SHOWER AND BATH (BASIN LEVER TO BE NO GREATER THAN 300mm FRONT OF 140FS).
- 1 x CLOTHING HANGING DEVICE TO BE INSTALLED BETWEEN 1200mm - 1500mm FROM FFL AND AT LEAST 500mm FROM AN INTERNAL CORNER FOR WC.
- DOOR TO INCLUDE AN IN-HOUSE INDICATOR AND A BOLT / CATCH THAT CAN BE OPENED FROM OUTSIDE IN AN EMERGENCY. IF SMB TURN IS USED THE HANDLE IS TO 45mm FROM CENTRE.
- DOOR OPERATION TO BE LIGHTWEIGHT.
- LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- GPOs TO BE INSTALLED BETWEEN 600 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- ROCKER ACTION / TOGGLE TYPE SWITCHES AT LEAST 30 x 30mm DIMENSIONS ARE REQUIRED TO ASSIST PEOPLE WITH DEXTERITY IMPAIRMENT.
- ENSURE ALL ACCESSIBLE SHOWERS TO HAVE SHOWER RAIL / CURTAIN INSTALLED.
- ENSURE HEIGHT OF THE HOSE WALL OUTLET TO BE 700mm HEIGHT ABOVE FFL COMPLIANT WITH AS1428.1-4.48 TO ENSURE SUITABLE HOSE LENGTH WHEN SHOWERING. TO ALSO INCLUDE SUITABLE BACK-FLUSH PREVENTION DEVICE.
- SLIP-RESISTANCE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING.

GENERAL NOTES:

- PROVIDE DOOR PEEPHOLE AT 1220mm ABOVE FFL.
- SLIP-RESISTANCE OF FLOORS TO HAVE MINIMUM CLASS 'X' RATING TO BATHROOM, KITCHENETTE, LAUNDRY AND BALCONY AS REQUIRED IN AS4299 CLAUSE 4.5.4
- AT LEAST ONE GPO IN EACH ROOM / AREA TO BE INSTALLED BETWEEN 600 - 1100mm ABOVE FFL AND 500mm MINIMUM FROM CORNER.
- PROVIDE 1 x DOUBLE GPO WITHIN 300mm OF FRONT OF KITCHEN WORK SURFACE. TO BE REACHABLE BY A PERSON USING A WHEELCHAIR.
- ALL LIGHT SWITCHES TO BE INSTALLED BETWEEN 900 - 1100mm ABOVE FFL & 500mm MINIMUM FROM INTERNAL CORNER.
- ALL OTHER ELECTRICAL CONTROLS TO KEY FEATURES (EG. INTERCOM, SECURITY SWIPE, AC UNIT, SAFE SOUND SYSTEM ETC.) TO BE INSTALLED WITH OPERATIVE PART BETWEEN 900 - 1200mm ABOVE AFFL AND 500mm MINIMUM FROM INTERNAL CORNER.
- PROVIDE 1 x DOUBLE GPO BESIDE ADAPTABLE UNIT BATHROOM MIRROR AND ALSO WITHIN LAUNDRY IN ACCORDANCE WITH AS4299.
- ENSURE ANY PARTITION WALLS / FIXTURES TO BE RELOCATED / REMOVED AT POST ADAPTATION DO NOT HAVE ANY ELECTRICAL / GAS OR PLUMBING SERVICES INSTALLED AT PRE-ADAPTATION FOR EASE OF ADAPTATION IN ACCORDANCE WITH AS4299.
- PROVIDE EXTRA CAPPED OFF SERVICES WITH SUITABLE SET-OUTS AND CLEARANCES TO ALLOW FOR RELOCATION OF FIXTURES IN POST-ADAPTATION LOCATIONS, COMPLIANT WITH AS1428.1
- WALL STRENGTHENING AROUND PAUL, SHOWER AND BATH AND WATERPROOFING OF WALLS TO BE PROVIDED AT PRE-ADAPTATION STAGE IN ACCORDANCE WITH AS1428.1, CLAUSE 4.4.4a.
- WHERE APPLICABLE, ENSURE CARPET PILE HEIGHT IS NO MORE THAN 11mm WITH 4mm MAXIMUM BACKING SURFACE (COMPLIANT WITH ODA PREMISES STANDARD).

General Notes

- 35mm ramped threshold to ramped threshold to external sliding doors
- all floor surfaces to be slip resistant in accordance with AS/NZS 3661.1
- door openings to be positioned in wall to allow circulation adjacent to the doorway in accordance with AS1428.1-2009

Electrical Notes

- Hot Water System to deliver hot water at a maximum of 50% in accordance with AS4299
- allow for illumination levels in accordance with AS4299
- switch & power points to be located in accordance with AS4299
- a telephone outlet to be provided in the lounging area adjacent to a G.P.O.

Laundry Notes

- laundry tub dimension & height to comply with AS 4299
- taps to be provided at side of laundry tub
- provide a double G.P.O.
- all units to have wall mounted drying cabinets

Bathroom Notes

- select slip resistant ceramic floor tiles laid to fall on screed, provide waterproof membrane in accordance with AS 3740 1994
- taps set to be capstan or lever handles with single outlet
- locate toilet paper holder in accordance with AS 1428.1 - 2009
- accessible toilet in accordance with AS 1428.1-2009
- provide for adjustable, detachable hand held shower rose mounted on a slider grab rail. Clearance & heights to be in accordance with AS 1428.1-2009
- vanity clearance to comply with AS 1428.1-2009

Kitchen Notes

- kitchen sink bowl to be 150mm deep maximum
- sink & adjacent work space to be adjustable in height (750-850mm) or replaceable
- install flood/wall tiling under & behind removable/adjustable kitchen benches
- tap set shall be capstan or lever handles or lever mix
- cook tops to include either front or side controls with raised cross bars
- cook tops to include isolating switch
- tap set to be located 300mm in front of sink

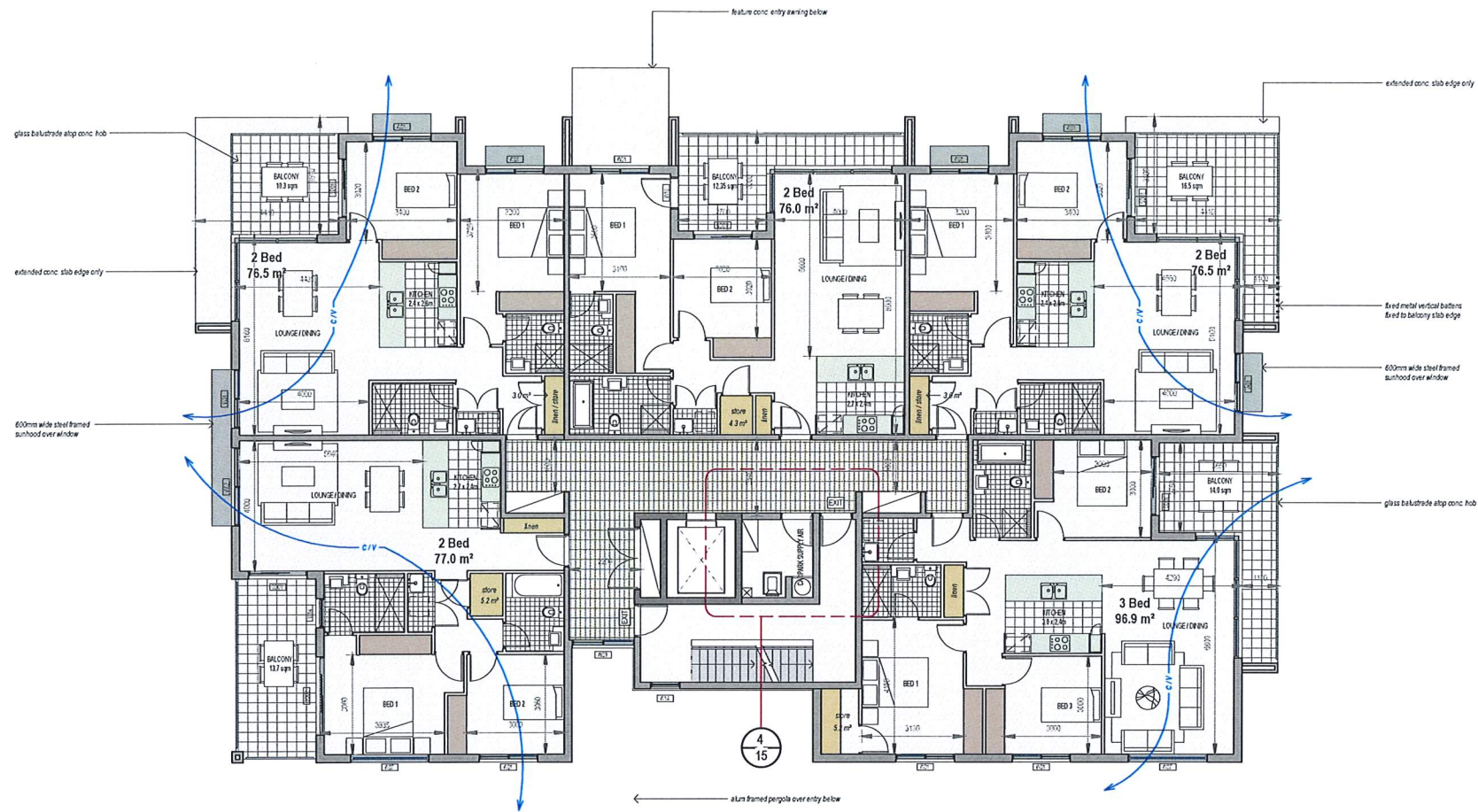
1 Typical Level - Block C
1:100

DEVELOPMENT APPLICATION

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	26-02-19

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 Parramatta NSW 2150 www.architex.com.au
 Nominated Architect: Robert Del Pizzo
 NSW Reg. No. 3972

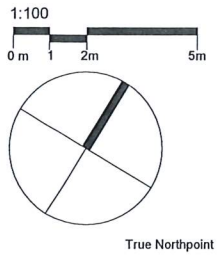
Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Typical Unit Layouts - Block C		
Drawn PDP	Scale 1:100	Checked
Job No 2428	Drawing No. 18	Issue D



CROSS-VENTILATION TO UNITS		
	Total	%
CROSS-VENTILATED UNITS	50	61%
SINGLE ASPECT UNITS	32	39%

POST-ADAPTABLE UNITS		
	Total	%
YES	9	11%
NO	73	89%

TOTAL NUMBER OF EXTERNAL KITCHENS =	25 (30,5%)
-------------------------------------	------------



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Window Schedule			
No.	Width	Height	Description
SD01	1800	2765	SLIDING DOOR - 2 PANEL
SD01a	1800	2700	SLIDING DOOR - 2 PANEL
SD01b	1800	2400	SLIDING DOOR - 2 PANEL
SD02	2400	2765	SLIDING DOOR - 2 PANEL
SD02a	2400	2700	SLIDING DOOR - 2 PANEL
SD02b	2400	2400	SLIDING DOOR - 2 PANEL
SD03a	3610	2765	SLIDING DOOR - 3 PANEL
SD04	1600	2765	SLIDING DOOR - 2 PANEL
W01	1800	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W02	2400	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W03	1910	2100	AWNING / FIXED + LOWLIGHT - 2 PANE
W04	1800	1800	AWNING / FIXED
W05	1800	1500	AWNING / FIXED
W06	2400	900	AWNING / FIXED
W07	2400	900	AWNING / FIXED
W08	2400	1800	AWNING / FIXED
W09	1800	900	AWNING / FIXED
W10	970	2765	GLASS DOOR
W10a	970	2700	GLASS DOOR
W10b	970	2400	GLASS DOOR
W11	900	900	AWNING - OPAQUE GLASS
W12	600	2100	AWNING + LOWLIGHT
W13	970	2100	AWNING + LOWLIGHT
W14	900	1500	AWNING
W14a	900	1800	AWNING

LEGEND

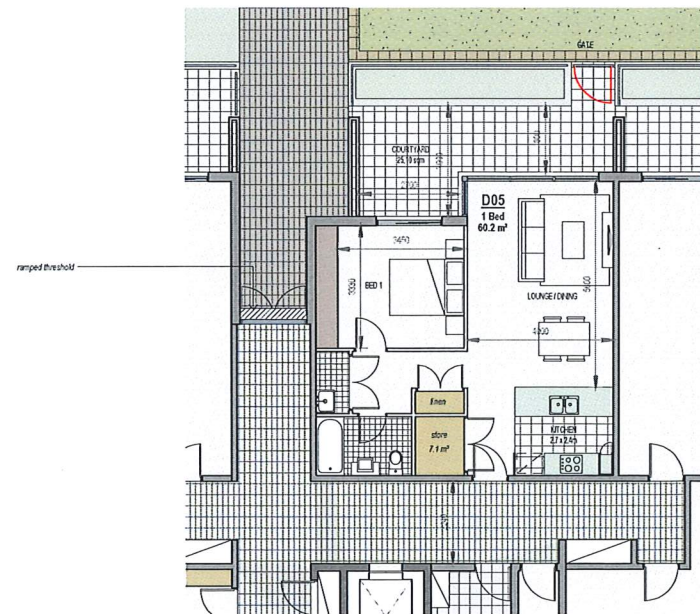
INDICATES CALCULATED INTERNAL UNIT STORAGE AREA

NOTE:
All units to have wall mounted drying cabinets fixed over washing machine in laundry

PLEASE NOTE:
WINDOW ASSEMBLIES ARE FULL HEIGHT AND NOT INCLUDED IN WINDOW SCHEDULE - REFER TO PLANS + ELEVATIONS FOR OPENING WIDTHS

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH AS1482.1 - 2009 DESIGN FOR ACCESS AND MOBILITY

① Typical Level - Block D
1:100



② Level 01 - Block D
1:100

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

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 Nominated Architect: Robert Del Pizzo
 NSW Reg. No. 3972

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 M: 0418 402 919
 email@architex.com.au
 www.architex.com.au

DEVELOPMENT APPLICATION

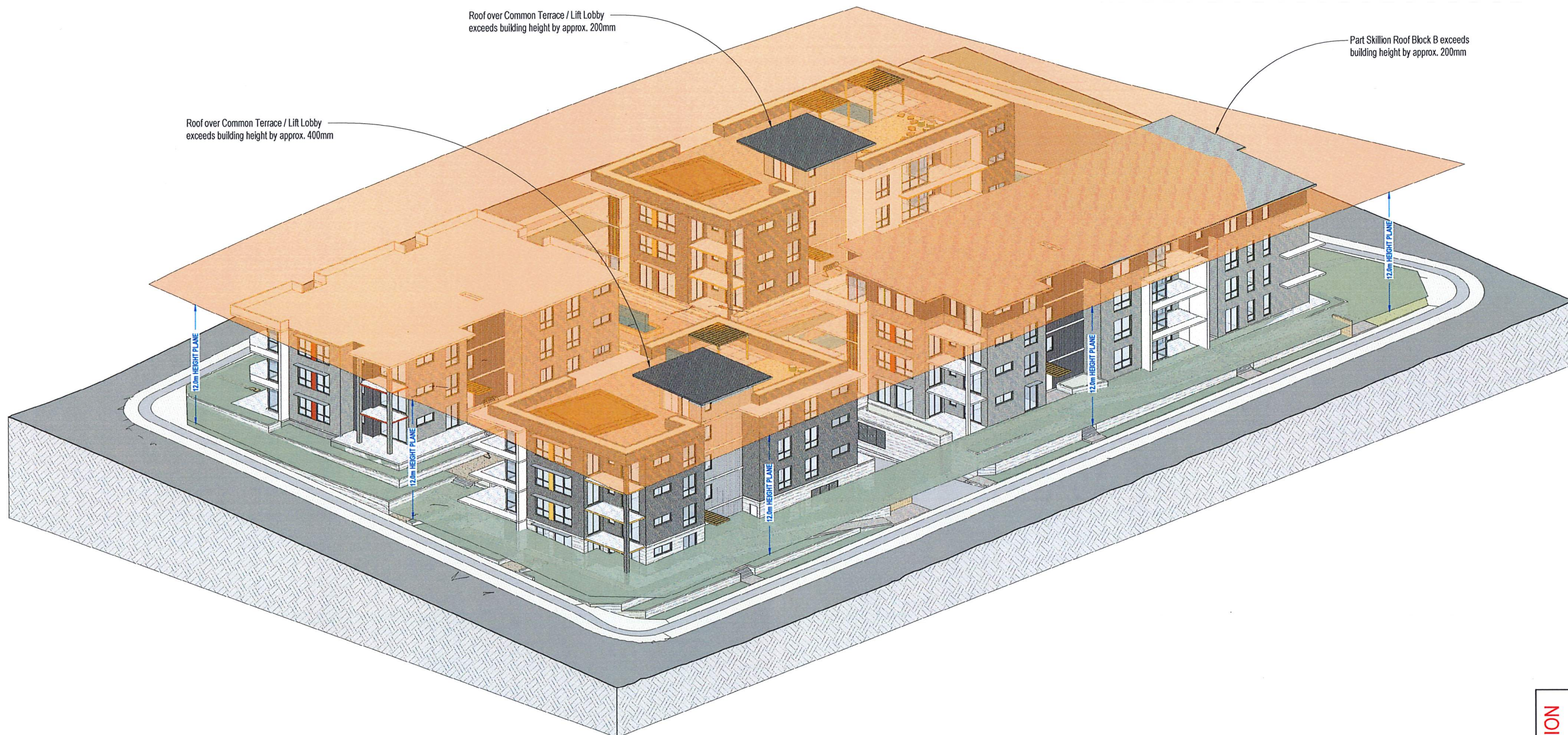
Project
PROPOSED RESIDENTIAL DEVELOPMENT

Project Address
172 Tallawong Road, Rouse Hill

Client
North Western Group Pty. Ltd.

Title
Typical Unit Layouts - Block D

Drawn PDP	Scale 1:100	Checked
Job No 2428	Drawing No. 19	Issue D



Issue	Issue description	Date
D	Development Application Issue	22.03.19
C	Prelim. Issue to Consultants	01.03.19
B	Prelim. Issue to Council	25.02.19
A	Prelim. Issue to Client	18.02.19

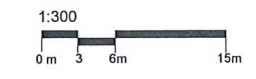
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 Level 3, 7x Parkes Street
 Parramatta NSW 2150
 Nominated Architect: Robert Del Razo
 NSW Reg. No. 3972

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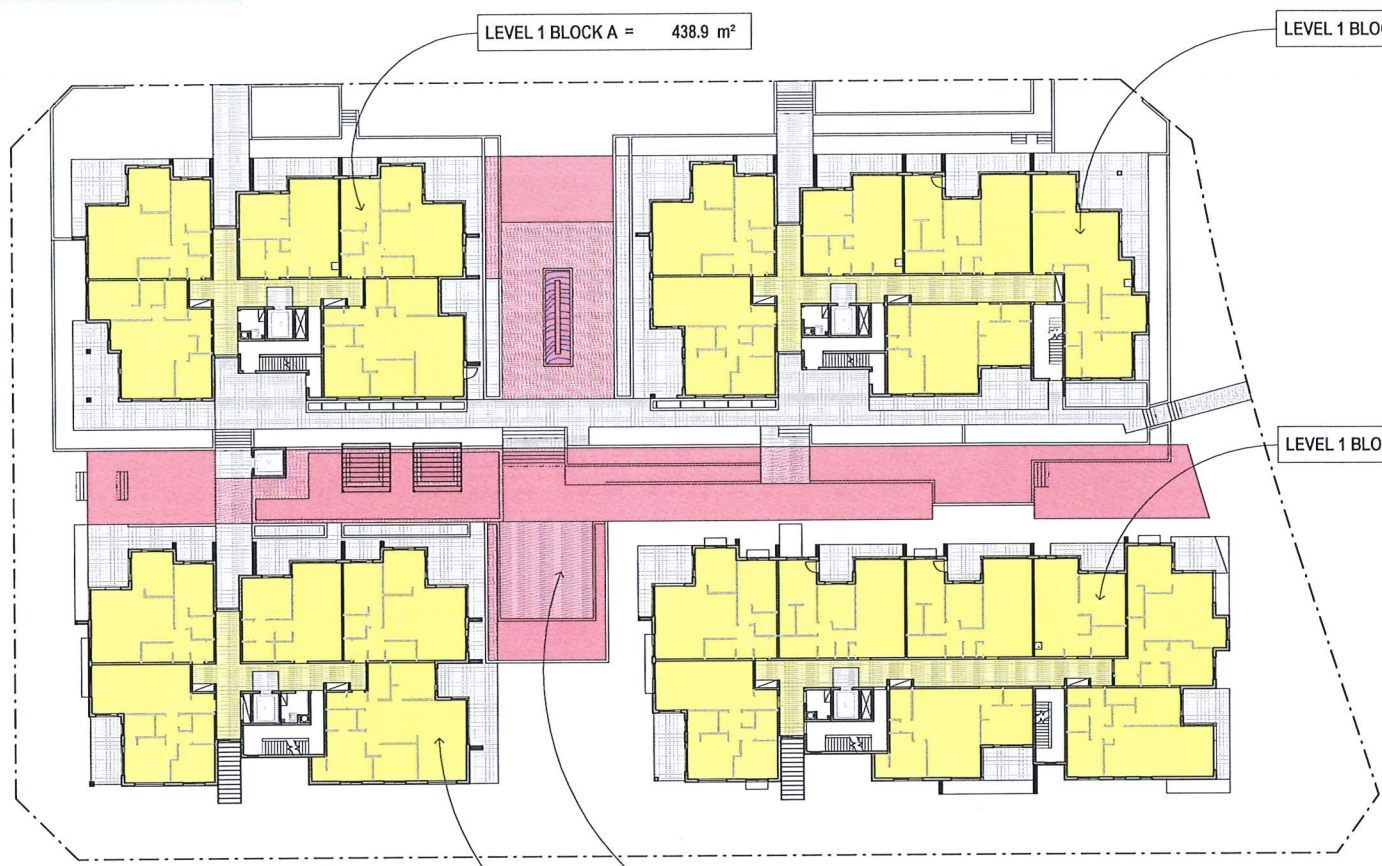
DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title 3d Building Height Plane Diagram		
Drawn PDP	Scale	Checked
Job No 2428	Drawing No. 20	Issue D

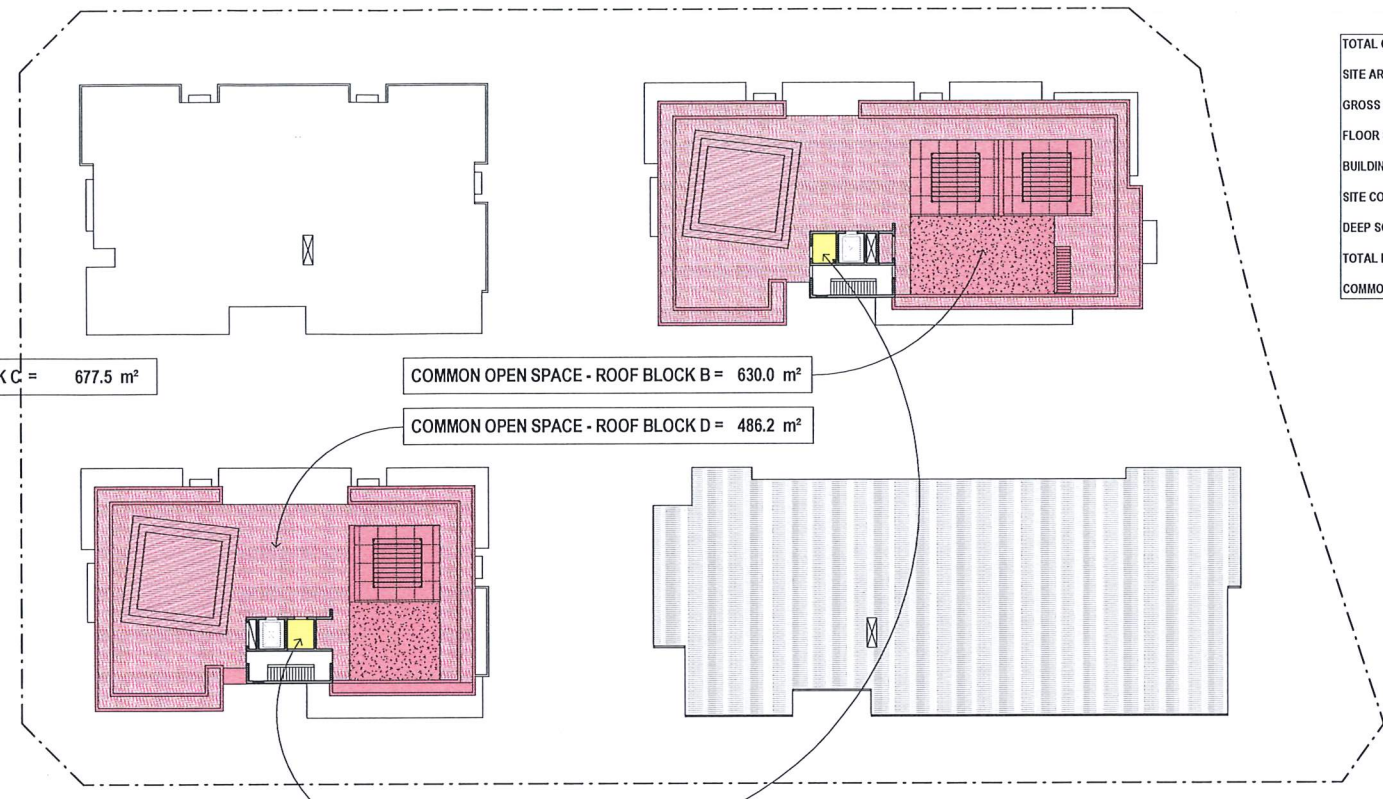
① 3D Building Height Plane



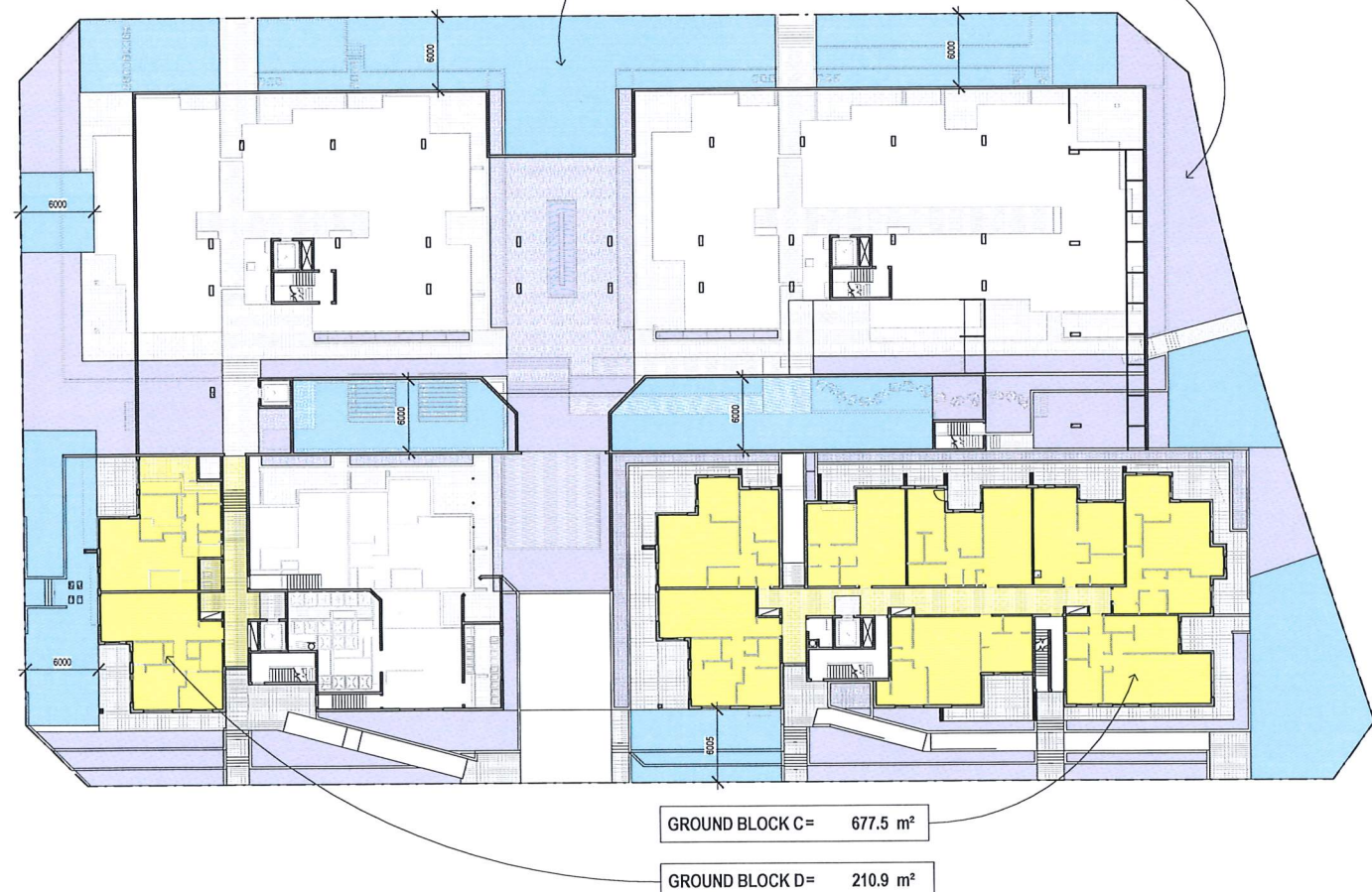
TOTAL CALCULATIONS	
SITE AREA (excl. roads)	= 6,474.4 m ²
GROSS FLOOR AREA	= 7,249.3 m ²
FLOOR SPACE RATIO	= 1.120 : 1
BUILDING AREA	= 2,600.6 m ²
SITE COVER	= 40.2 %
DEEP SOIL LANDSCAPING	= 1,260.0 m ² (19.5%)
TOTAL LANDSCAPING	= 2,588.0 m ² (40.0%)
COMMON OPEN SPACE	= 1,941.7 m ² (30.0%)



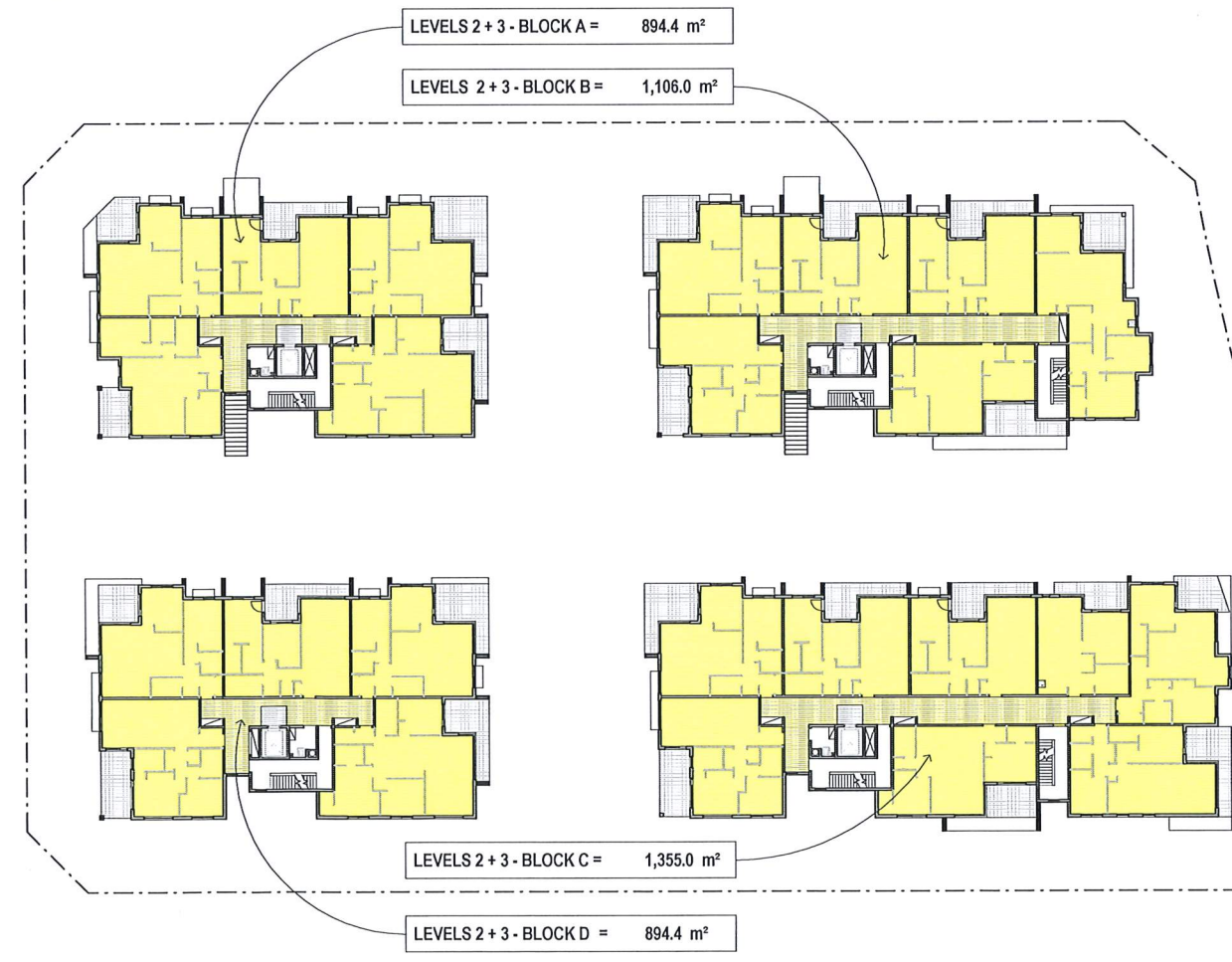
② FSR Diagram - Levels 01
1:300



④ FSR Diagram - Roof Level
1:300



① FSR Diagram - Ground Floor Level
1:300



③ FSR Diagram - Levels 02 + 03
1:300

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

architex
 Ryelton pty ltd was Architex
 abn 32 003 315 142
 Level 3, 7K Parkes Street
 Parramatta NSW 2150
 Nominated Architect: Robert Del Pizzo
 NSW Reg. No. 3972

T: 02 9533 5888
 M: 0418 402 919
 email@architex.com.au
 www.architex.com.au

Project
PROPOSED RESIDENTIAL DEVELOPMENT

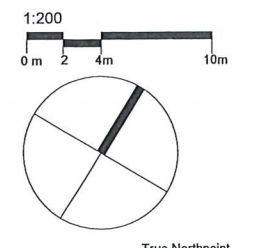
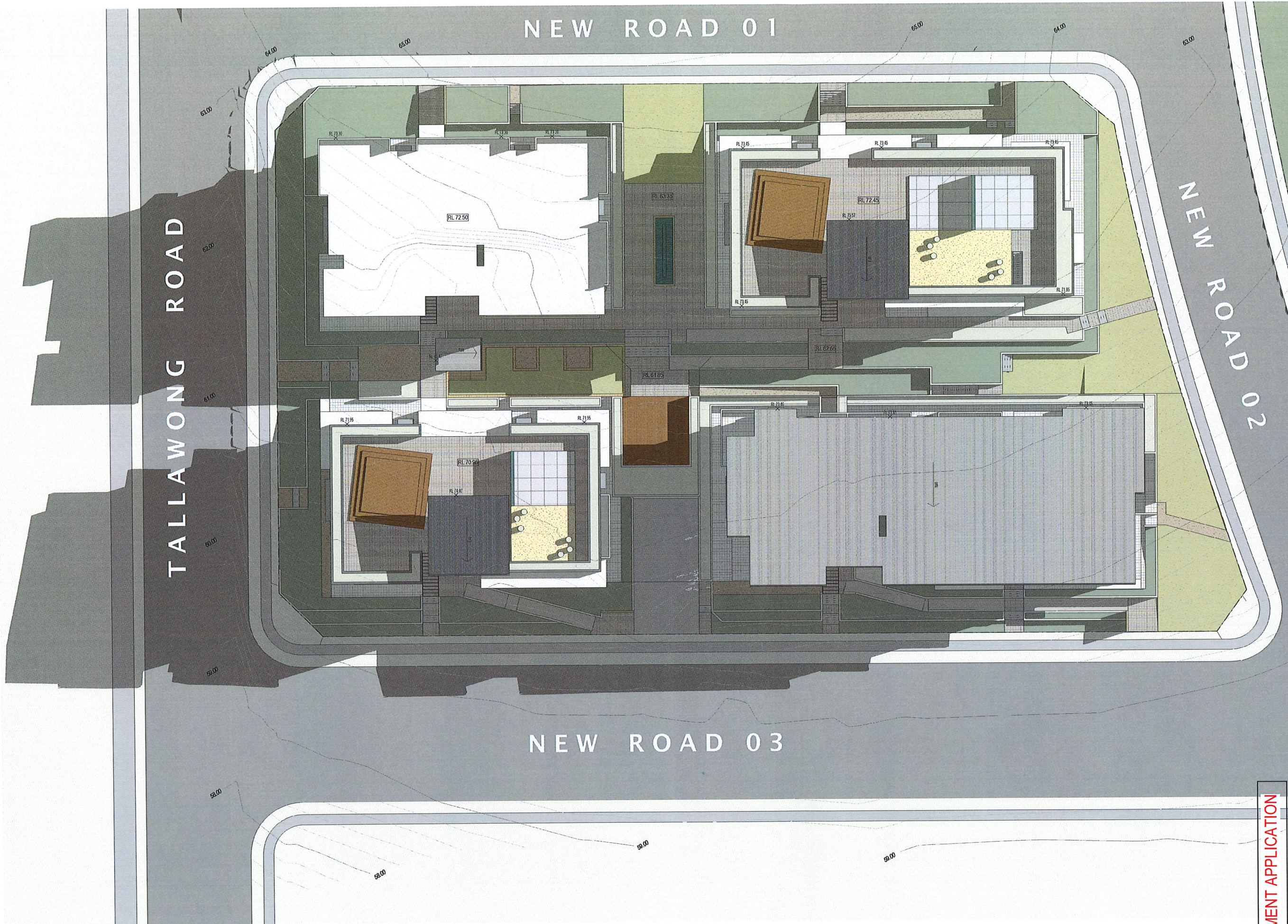
Project Address
 172 Tallawong Road, Rouse Hill

Client
 North Western Group Pty. Ltd.

Title
F.S.R. + Site Calculation Diagrams

Drawn	Scale	Checked
PDP	1:300	
Job No	Drawing No.	Issue
2428	21	D

DEVELOPMENT APPLICATION



Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

architex
 Ryveton Pty Ltd (Vic) Architex T : 02 9533 5888
 c/s/n 32 003 315 142 M : 0418 402 919
 Level 3, 76 Parkes Street email@architex.com.au
 Parramatta NSW 2150 www.architex.com.au
 Nominated Architect: Robert Del Rizzo
 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Shadow Diagram - 9am 21st June		
Drawn PDP	Scale 1 : 200	Checked
Job No 2428	Drawing No. 22	Issue D

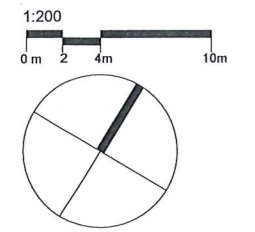
① Shadow Diagram - 9am 21st June
1 : 200

TALLAWONG ROAD

NEW ROAD 01

NEW ROAD 02

NEW ROAD 03



True Northpoint

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

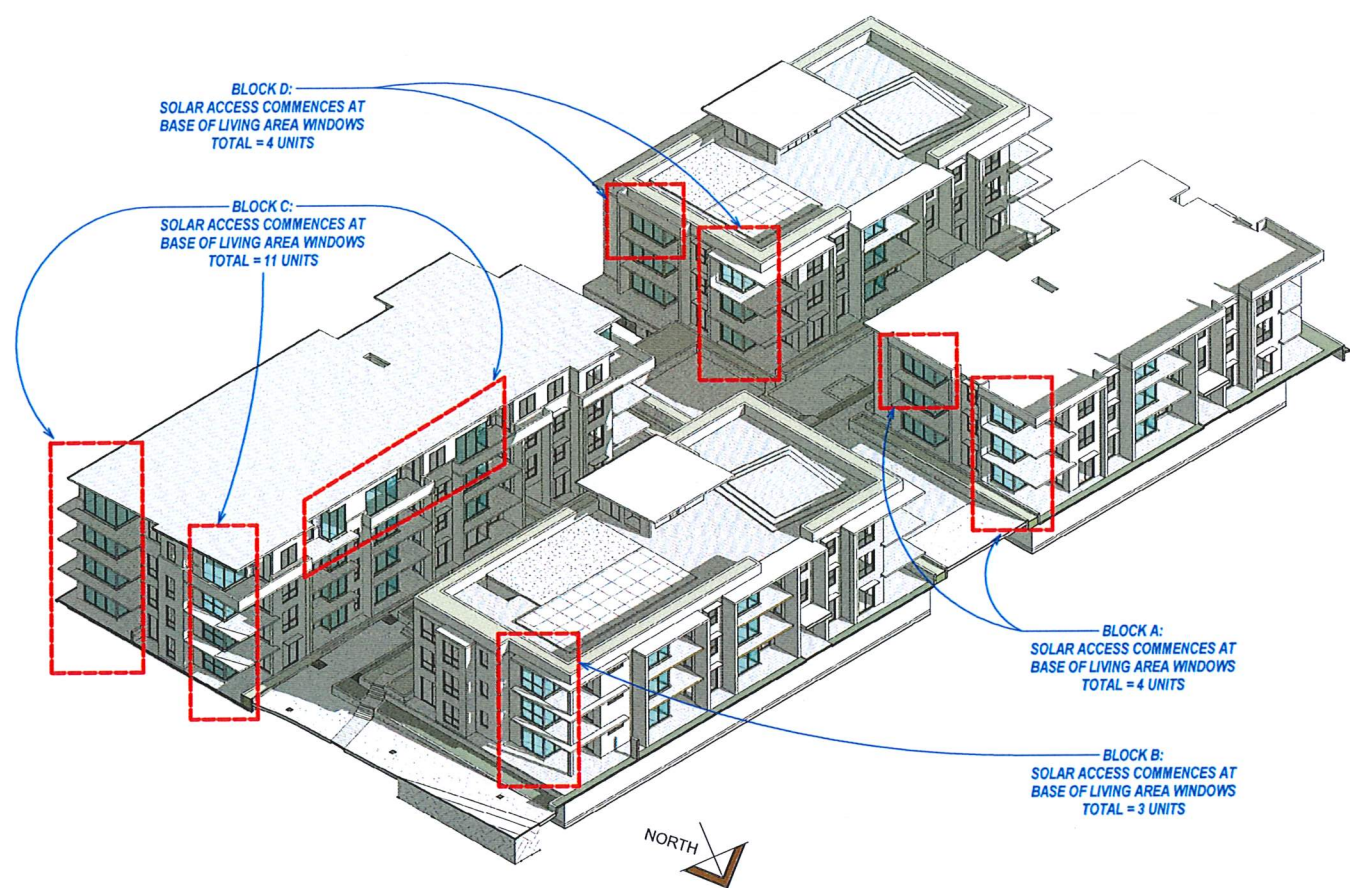
Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

architex
 Ryetlon Pty Ltd t/as Architex T: 02 9633 5888
 abn 32 003 315 142 M: 0418 402 919
 Level 3, 7K Parkes Street email@architex.com.au
 Paramatta NSW 2150 www.architex.com.au
 Nominated Architect: Robert Del Pizzo
 NSW Reg. No. 3972

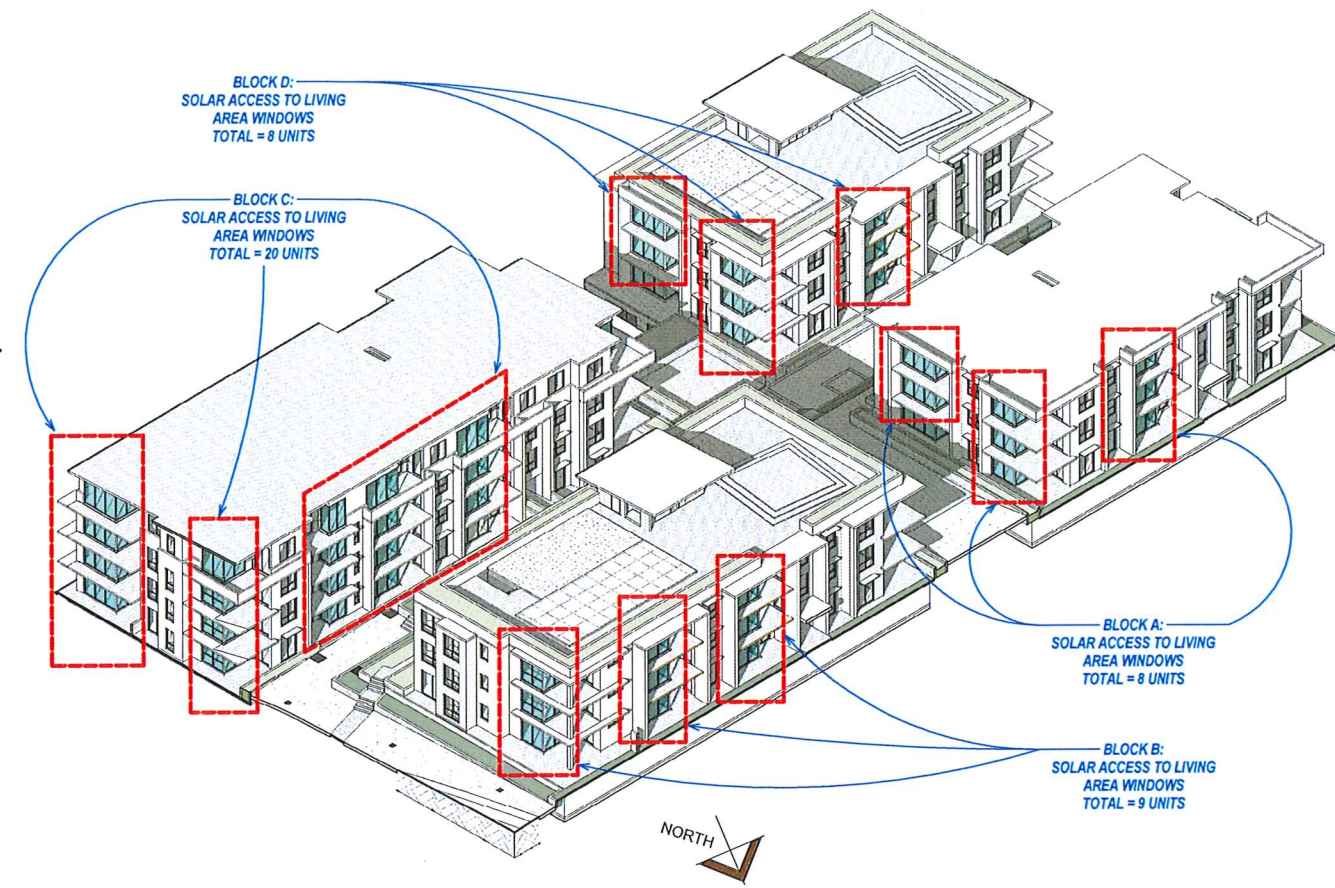
DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Shadow Diagram - 3pm 21st June		
Drawn PDP	Scale 1 : 200	Checked
Job No 2428	Drawing No. 24	Issue D

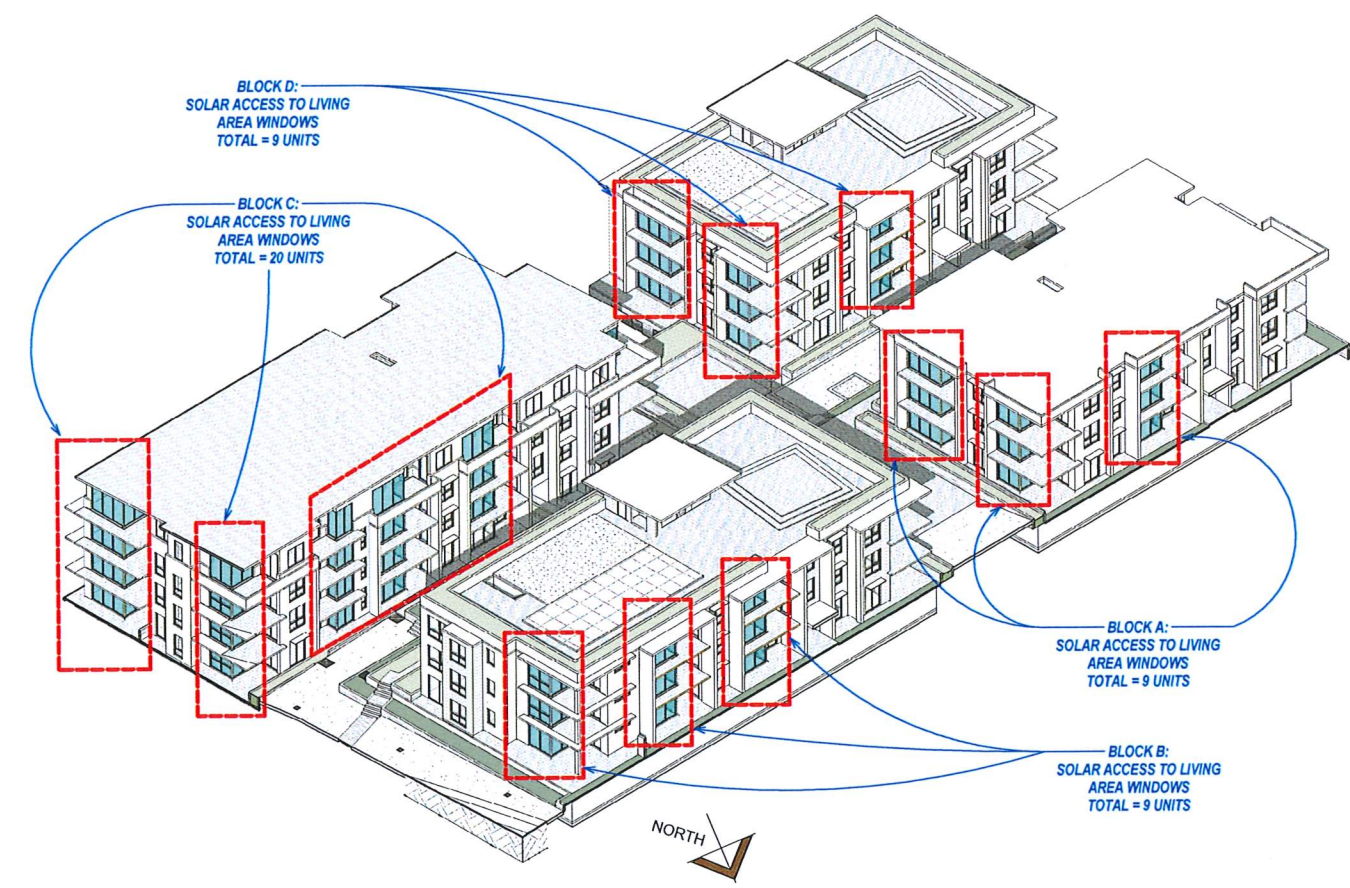
③ Shadow Diagram - 3pm 21st June
1 : 200



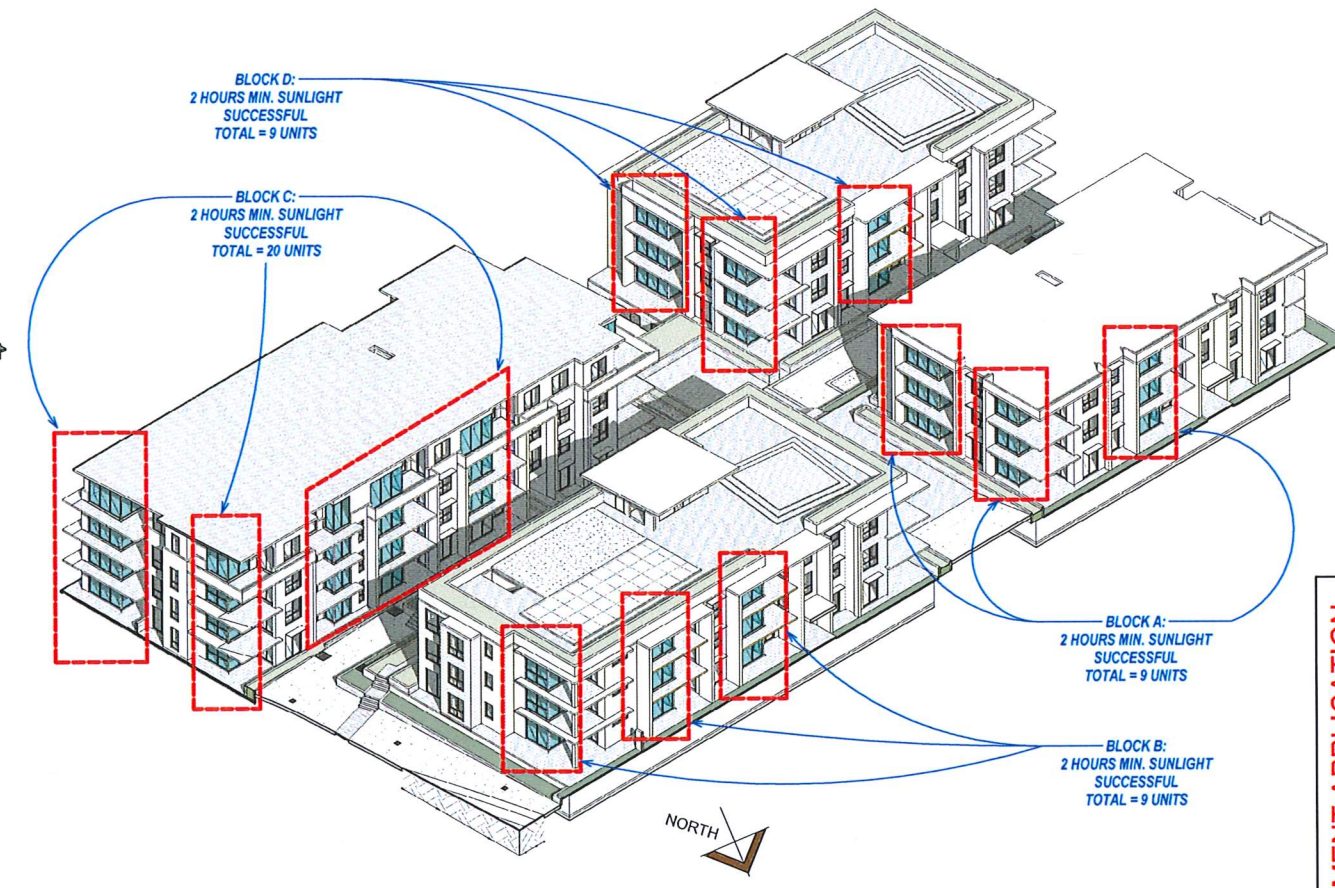
① Eastern Facade - 9am 21st June



② Eastern Facade - 10am 21st June



③ Eastern Facade - 11am 21st June



④ Eastern Facade - 12noon 21st June

SOLAR ACCESS TABLE
SUNLIGHT TO LIVING AREAS AT 21st JUNE

Hours	No. of Units	%
0	10	12
0 - 2	14	17
2 +	58	71

LEGEND

HIGHLIGHTS WINDOWS OF LIVING / DINING AREA OF APARTMENT

NOTE:
GLASS BALUSTRADES + BALCONY SCREENS OMITTED FOR CLARITY

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

architex
Ryeford Pty Ltd (as Architex) T: 02 9533 5888
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Level 3, 7/6 Parkes Street email@architex.com.au
Parramatta NSW 2150 www.architex.com.au
Nominated Architect: Robert Del Pizzo
NSW Reg. No. 3972

DEVELOPMENT APPLICATION

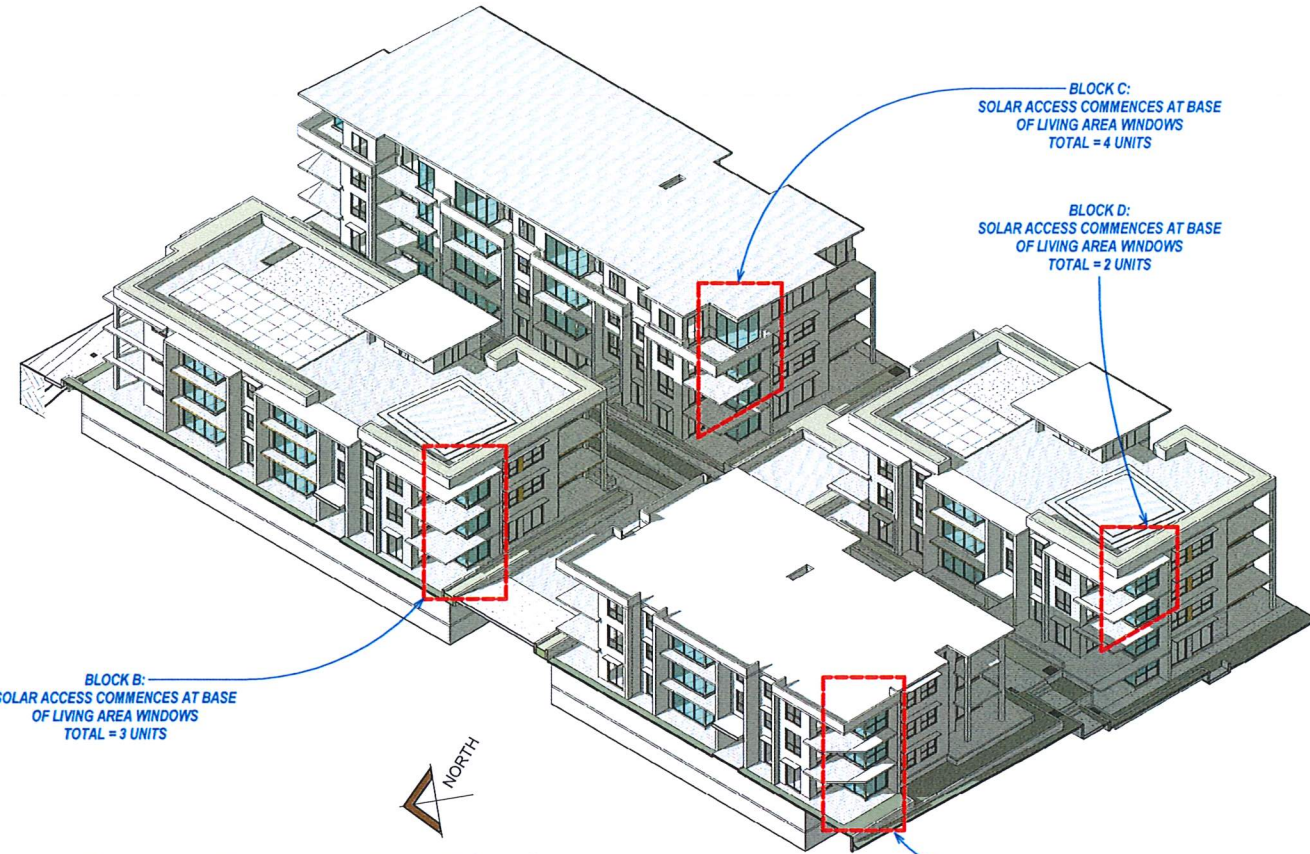
Project	PROPOSED RESIDENTIAL DEVELOPMENT
Project Address	172 Tallawong Road, Rouse Hill
Client	North Western Group Pty. Ltd.
Title	Solar Access Diagrams
Drawn	PDP
Scale	1:300
Checked	
Job No	2428
Drawing No.	25
Issue	D

SOLAR ACCESS TO UNITS

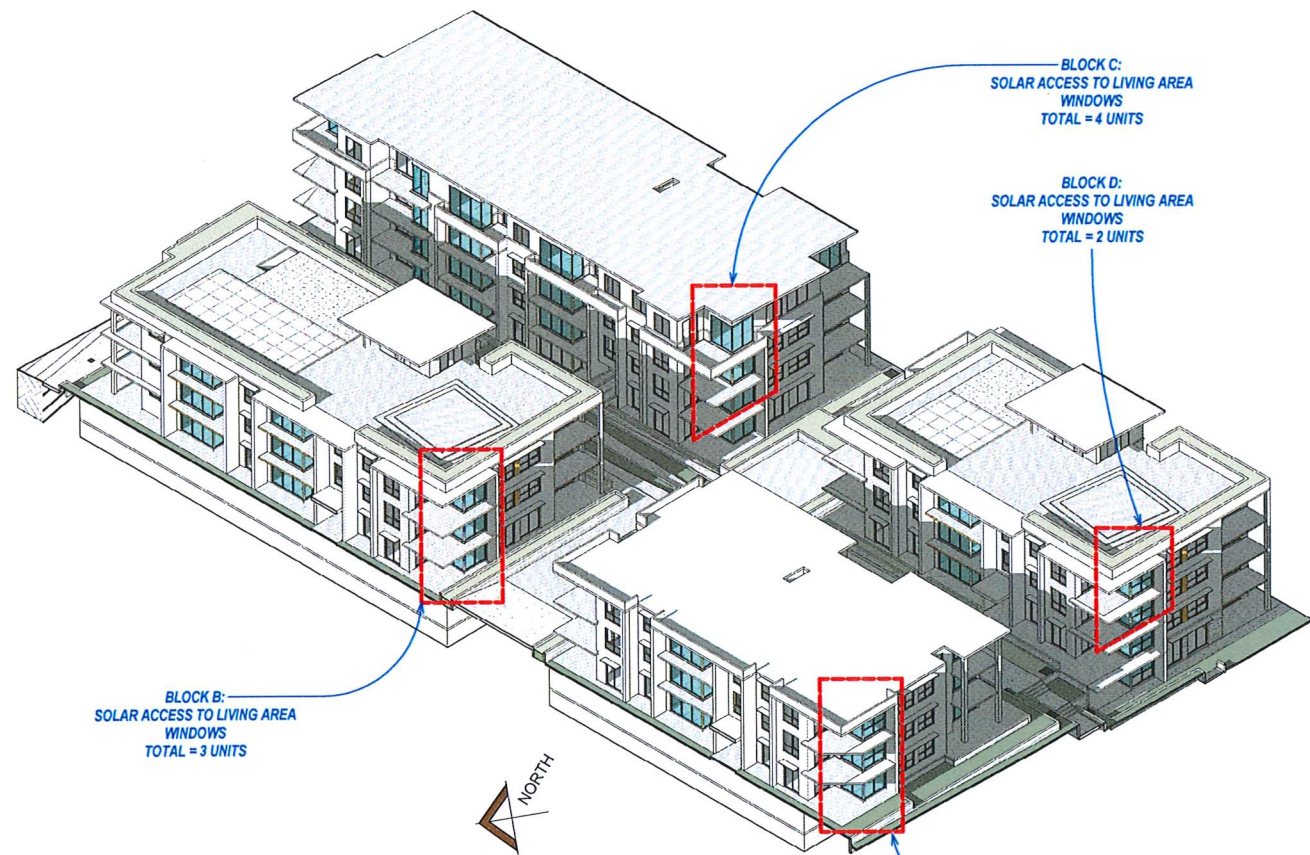
	Total	%
+ 2 HOURS SUNLIGHT TO LIVING	58	71%
- 2 HOURS SUNLIGHT TO LIVING	24	29%



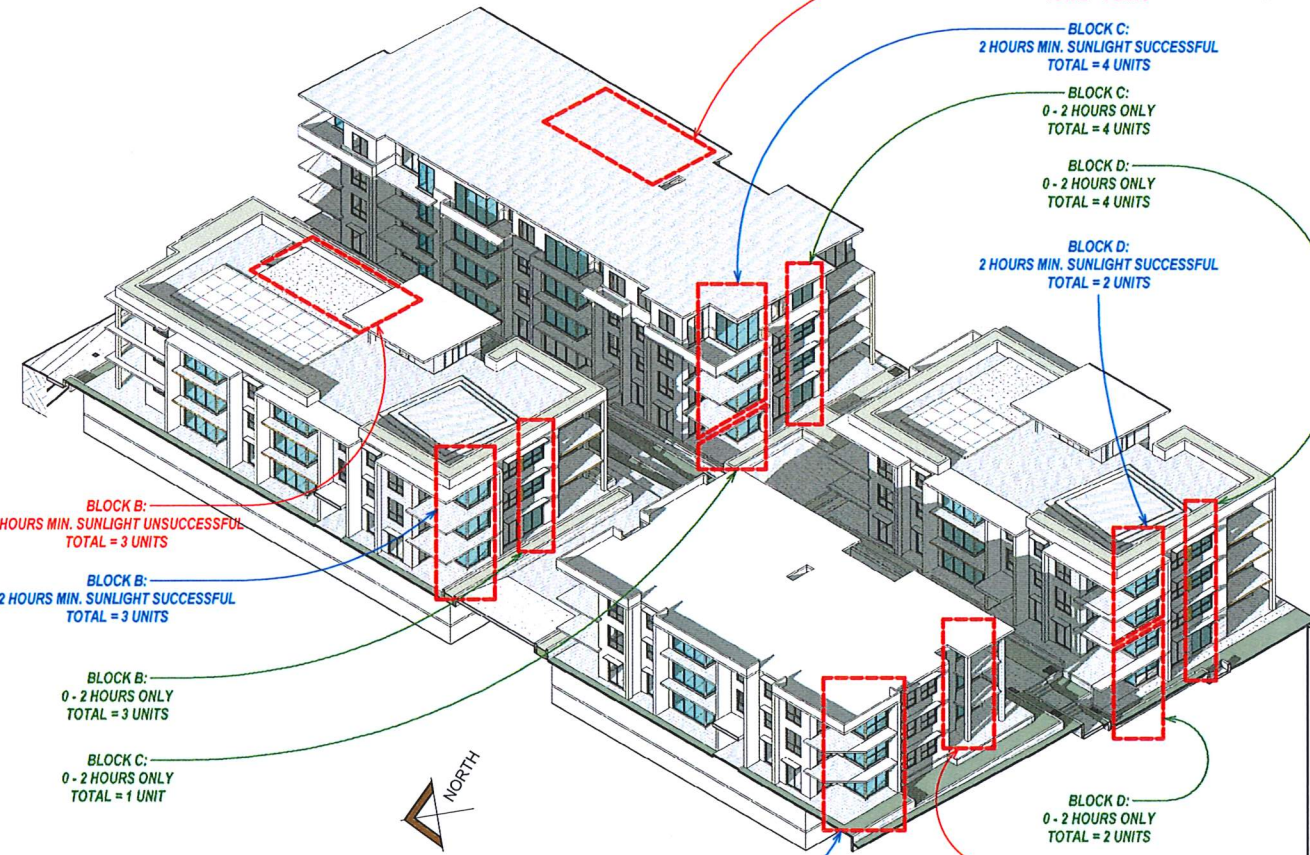
⑤ Western Facade - 12noon 21st June



⑥ Western Facade - 1pm 21st June



⑦ Western Facade - 2pm 21st June



⑧ Western Facade - 3pm 21st June

SOLAR ACCESS TABLE
SUNLIGHT TO LIVING AREAS AT 21st JUNE

Hours	No. of Units	%
0	10	12
0 - 2	14	17
2 +	58	71

LEGEND

HIGHLIGHTS WINDOWS OF LIVING / DINING AREA OF APARTMENT

NOTE:
GLASS BALUSTRADES + BALCONY SCREENS OMITTED FOR CLARITY

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19

architex
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Level 3, 7K Parkes Street email@architex.com.au
Parramatta NSW 2150 www.architex.com.au
Nominated Architect: Robert Dal Fago NSW Reg. No. 3972

Project
PROPOSED RESIDENTIAL DEVELOPMENT
Project Address
172 Tallawong Road, Rouse Hill
Client
North Western Group Pty. Ltd.

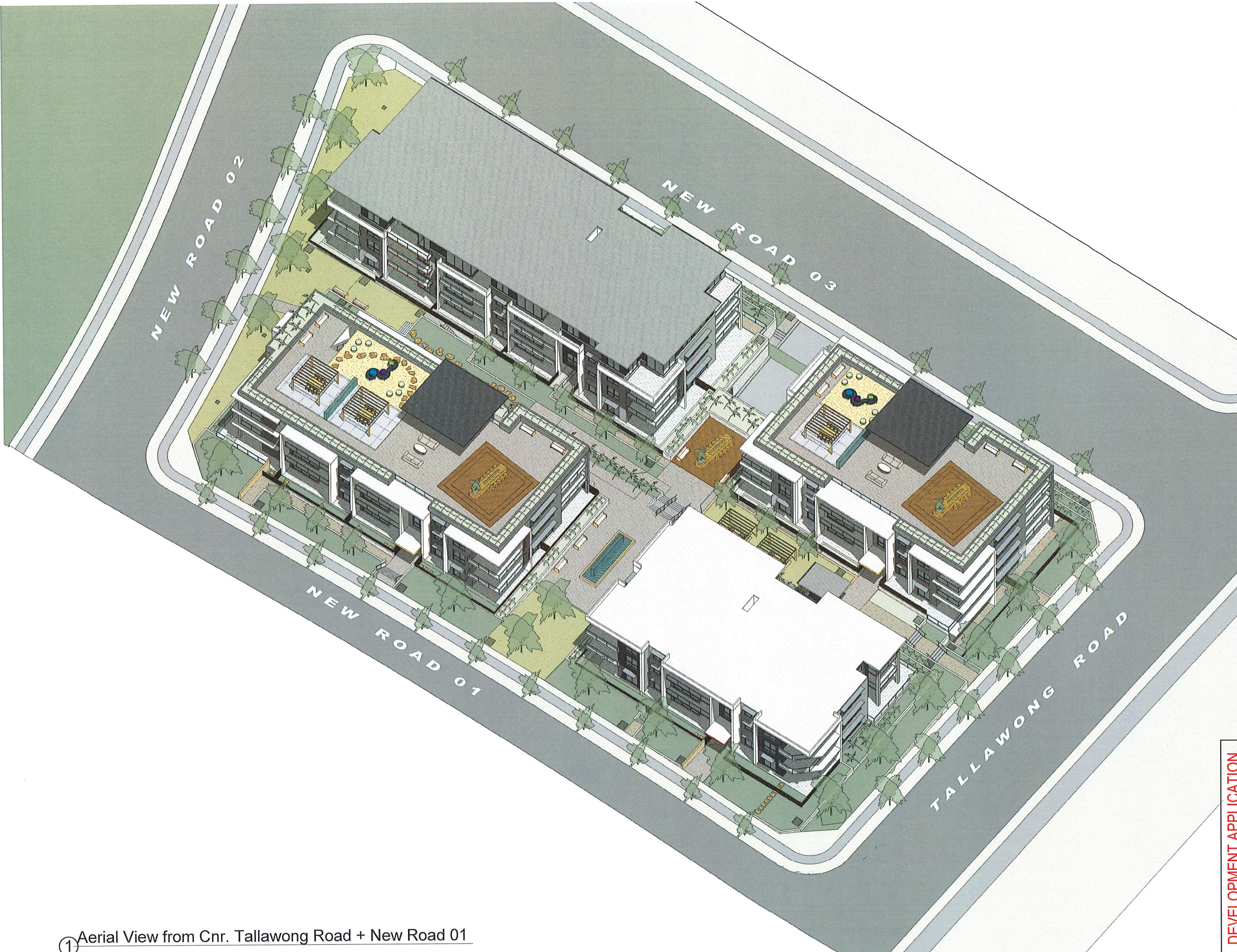
Title
Solar Access Diagrams

Drawn	Scale	Checked
PDP	1 : 1:300	
Job No	Drawing No.	Issue
2428	26	D

SOLAR ACCESS TO UNITS

	Total	%
+ 2 HOURS SUNLIGHT TO LIVING	58	71%
- 2 HOURS SUNLIGHT TO LIVING	24	29%

CONSTRUCTION CERTIFICATE



① Aerial View from Cnr. Tallawong Road + New Road 01

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19
A	Prelim. Issue to Client	18-02-19

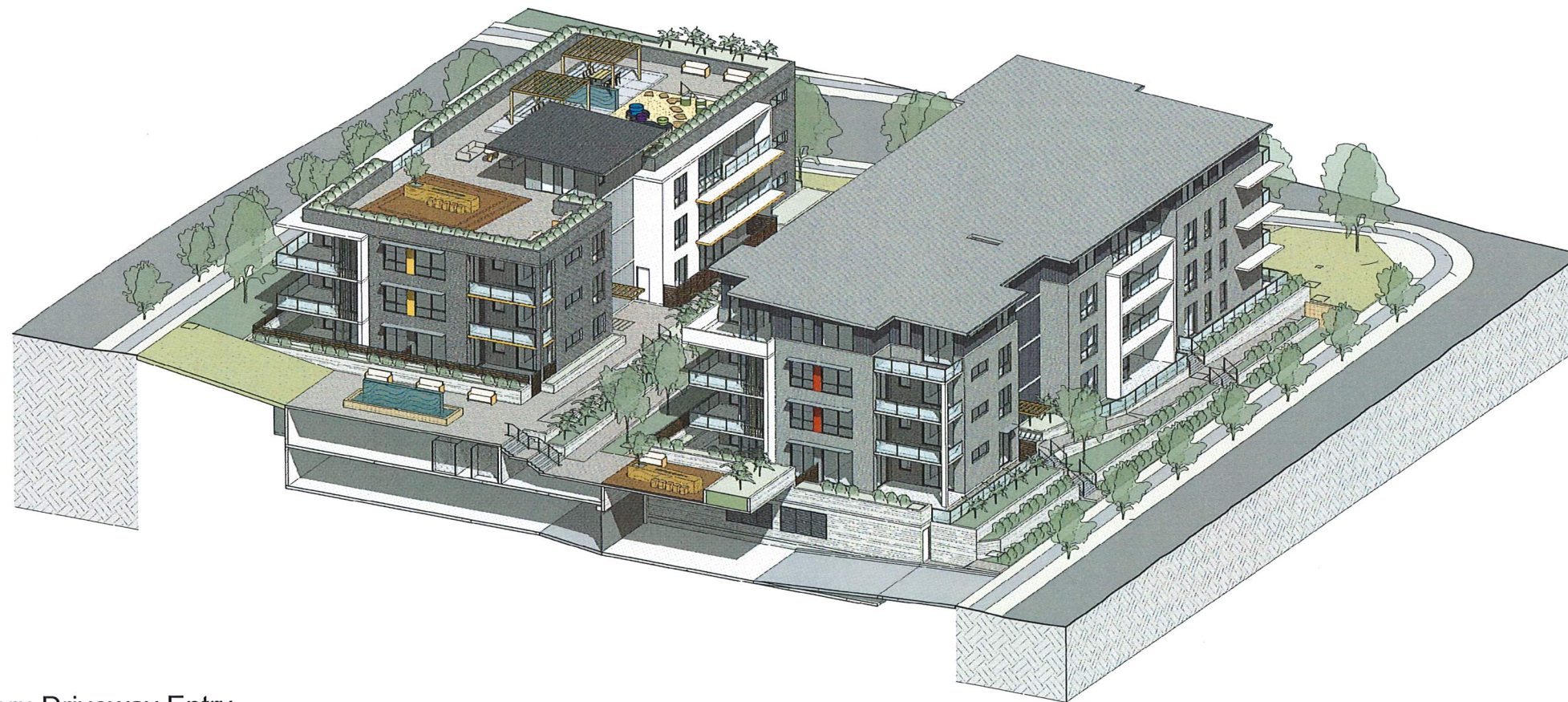
architex
 Ryelton Pty Ltd (as Architex) T: 02 9633 5888
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 Level 3, 7K Parkes Street email@architex.com.au
 Parramatta NSW 2150 www.architex.com.au
 Nominated Architect: Robert Del Rizzo
 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Aerial Image		
Drawn PDP	Scale	Checked
Job No 2428	Drawing No. 27	Issue D



① 3d Longitudinal Section Thru Common Open Space



② 3d Cross Section Thru Driveway Entry

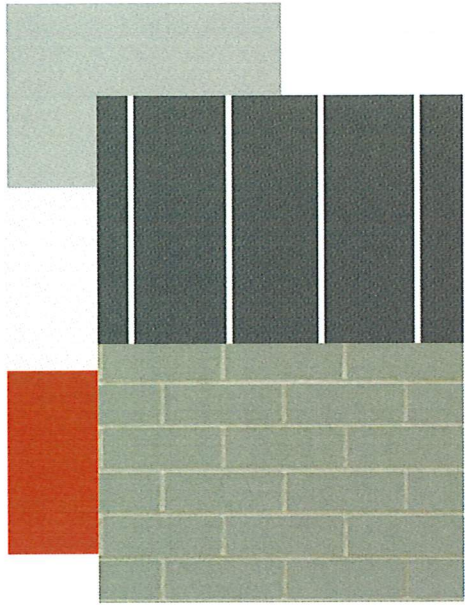
Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	25-02-19
A	Prelim. Issue to Client	18-02-19



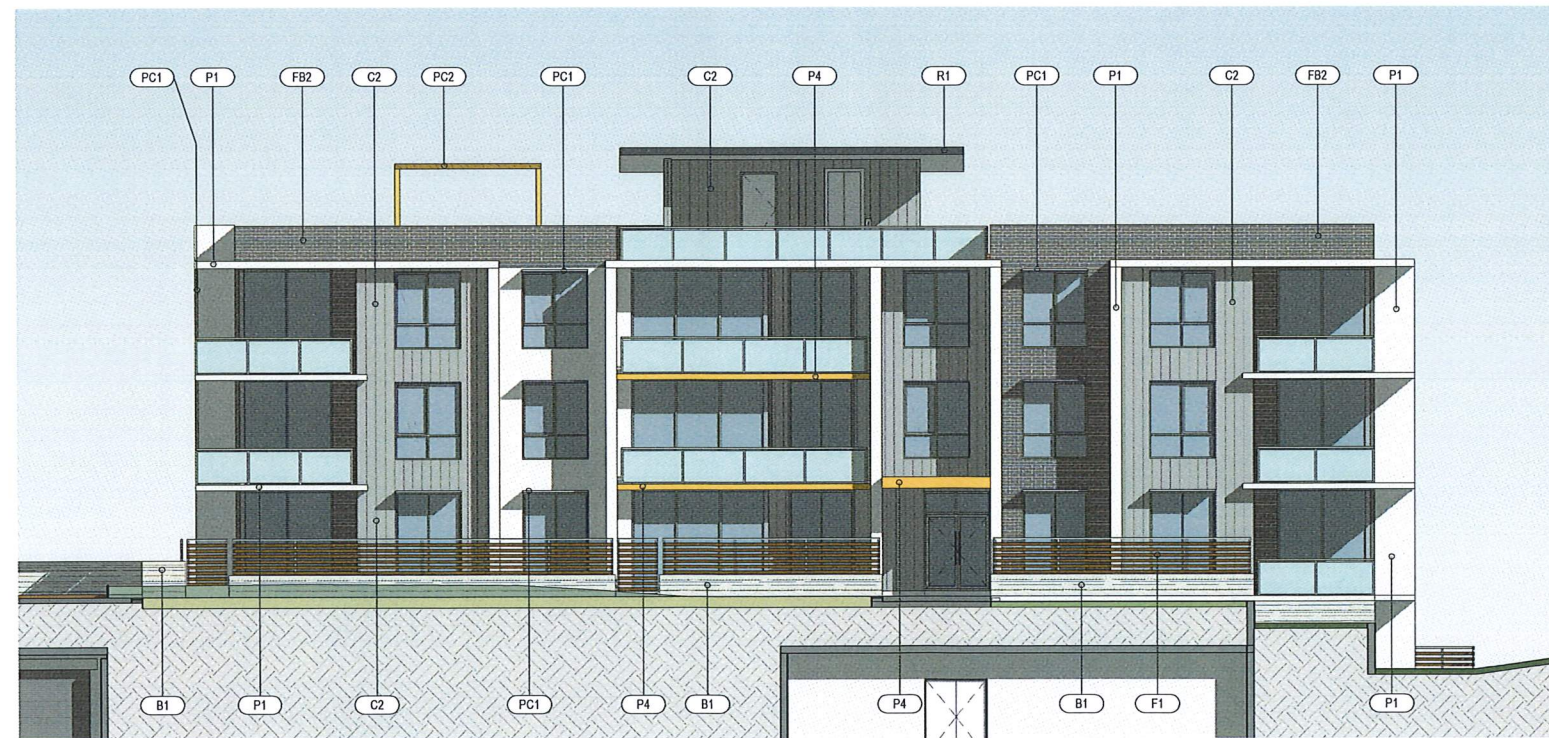
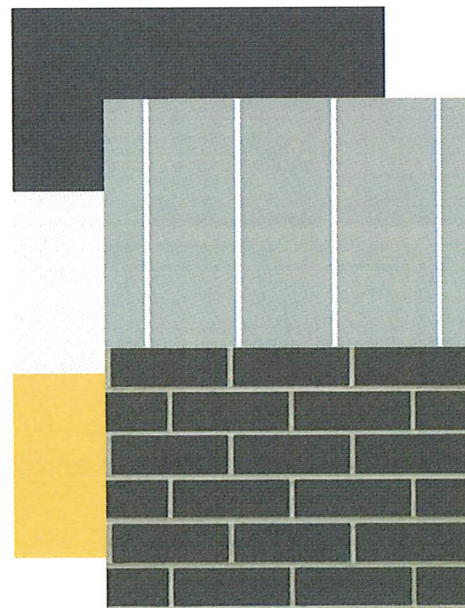
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 Ryerlon pty ltd /as Architex T : 02 9633 5888
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 Parramatta NSW 2150 www.architex.com.au
 Nominated Architect: Robert Del Rizzo
 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title 3d Sections		
Drawn PDP	Scale	Checked
Job No 2428	Drawing No. DA28	Issue D



① Schedule of Finishes - Blocks A + C
1:100



② Schedule of Finishes - Blocks B + D
1:100

1:100
0 m 1 2m 5m

Code	Application	Manufacturer	Finish	Product ID / Description	Sample
FB1	Facebrick 1	Austral	Ultra Smooth Bricks	Chill	
FB2	Facebrick 2	Austral	Ultra Smooth Bricks	Jazz	
P1	Paint Finish 1	DuLux	Vivid White	SW1 C1	
P2	Paint Finish 2	DuLux	Deep Night	P42 A7	
P3	Paint Finish 3	DuLux	Milton Moon	S14 C2	
P4	Paint Finish 4	DuLux	Hawke's Gold	S12 H5	
P5	Paint Finish 5	DuLux	Sply Beans	S87 E3	
C1	Wall Cladding 1	James Hardie DuLux Painted	Scyon Stria cladding Deep Night	404522 - 255mm wide P42 A7	
C2	Wall Cladding 2	James Hardie DuLux Painted	Scyon Stria cladding Milton Moon	404522 - 255mm wide S14 C2	
PC1	Windows / Handrails / Sunhoods / Screens	DuLux Duratec	Berney Silver Pearl	9007024Q	
PC2	Pergola / Awning	Aluminium	Wood Finish	Snow Gum (or similar)	
R1	Roof Sheeting 1	Colorbond	Colorbond Ironstone	Custom Orb	
R2	Roof Sheeting 2	Colorbond	Colorbond Shale Grey	Custom Orb	
F1	Courtyard Fence	MetalART	Supalatten Wood Finish	Casuarina (or similar)	
B1	Retaining Wall	Boral	Split Face Block	200mm series Pearl Grey	

Issue	Issue description	Date
D	Development Application Issue	22-03-19
C	Prelim. Issue to Consultants	01-03-19
B	Prelim. Issue to Council	26-02-19

architex
 Ryeton Pty Ltd / as Architex
 abn 32 003 315 142
 Level 3, 7K Parkes Street
 Parramatta NSW 2150
 Nominated Architect: Robert Del Pizzo
 NSW Reg. No. 3972
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 M: 0418 402 919
 email@architex.com.au
 www.architex.com.au

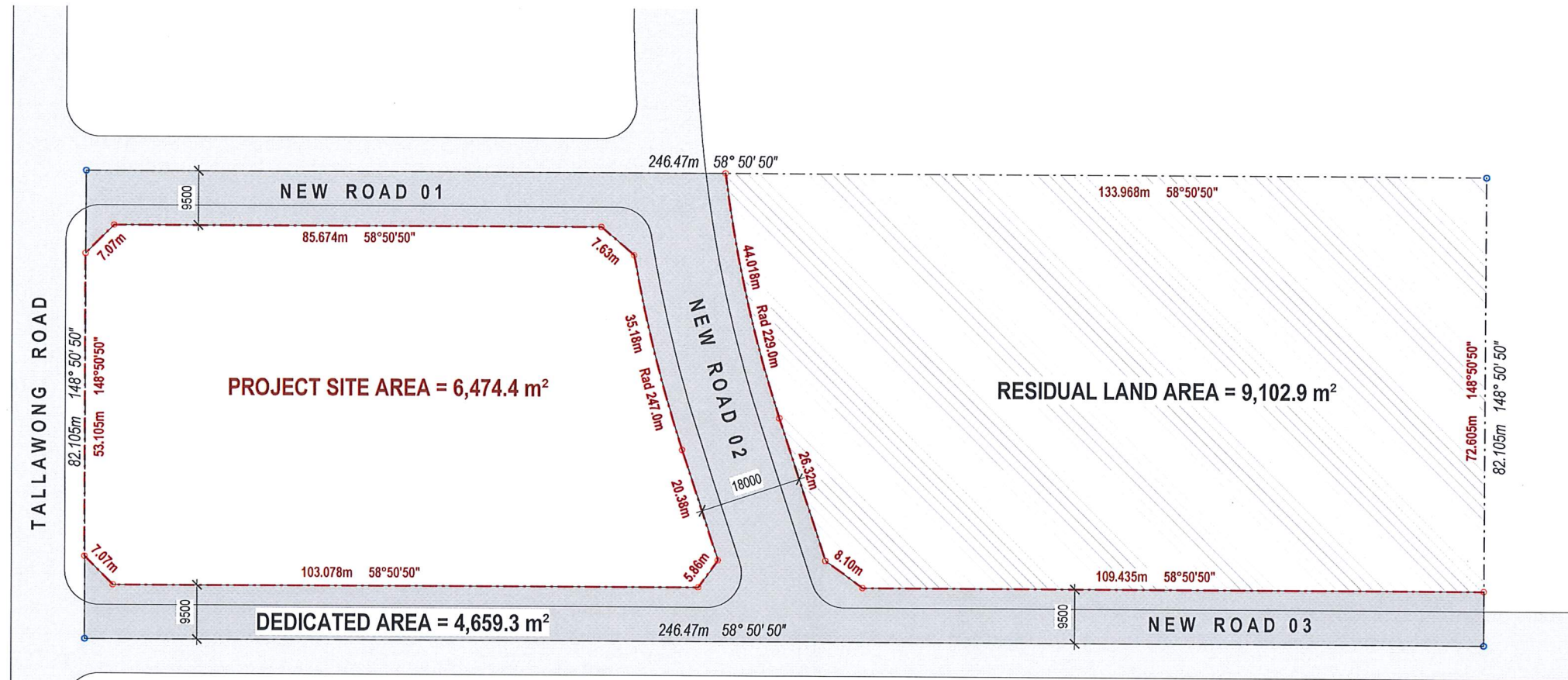
DEVELOPMENT APPLICATION

Project PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address 172 Tallawong Road, Rouse Hill		
Client North Western Group Pty. Ltd.		
Title Schedule of Finishes		
Drawn PDP	Scale 1:100	Checked
Job No 2428	Drawing No. 29	Issue D



True Northpoint

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.



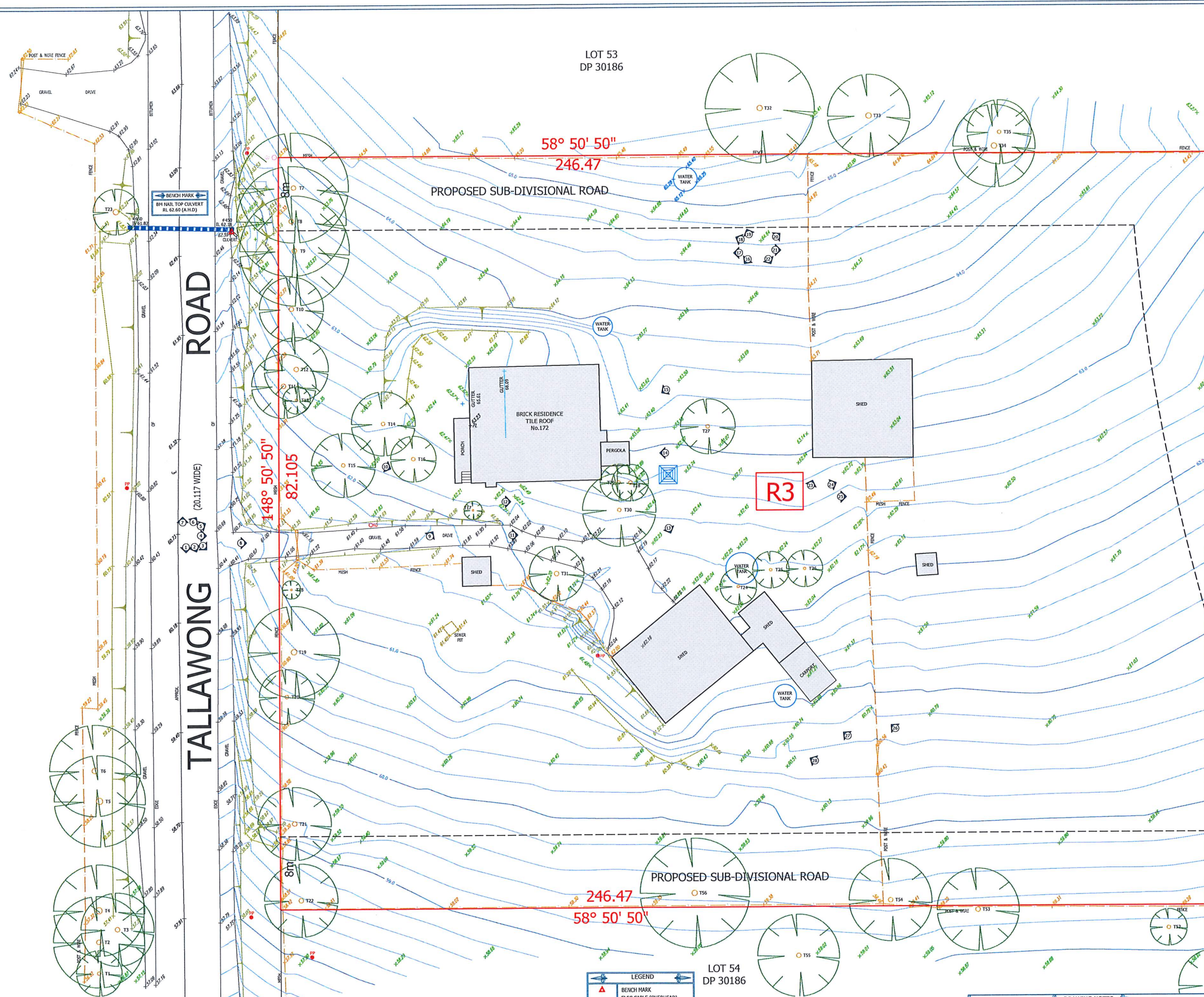
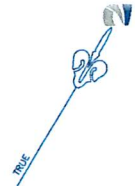
Issue	Issue description	Date
E	Sub-Division Plan Issued	2/6/19

architex
 Ryeford Pty Ltd (t/a) Architex
 abn 32 003 315 142
 Level 3, 74 Parkes Street
 Paramatta NSW 2150
 Nominated Architect:

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 M: 0418 402 919
 email@architex.com.au
 www.architex.com.au
 Robert Del Rizzo
 NSW Reg. No. 3972

DEVELOPMENT APPLICATION

Project		
PROPOSED RESIDENTIAL DEVELOPMENT		
Project Address		
172 Tallawong Road, Rouse Hill		
Client		
North Western Group Pty. Ltd.		
Title		
Sub-Division Plan		
Drawn	Scale	Checked
PDP	1 : 500	
Job No	Drawing No.	Issue
2428	30	E



LOT 53
DP 30186

58° 50' 50"
246.47

PROPOSED SUB-DIVISIONAL ROAD

ROAD
(20.117 WIDE)

TALLAWONG

148° 50' 50"
82.105

R3

PROPOSED SUB-DIVISIONAL ROAD

246.47
58° 50' 50"

LOT 54
DP 30186

REVISION	DATE
REV A ZONING INFORMATION ADDED	16.01.2017

NOTE: SEE SHEET 3 FOR TREE SCHEDULE

LEGEND	
	BENCH MARK
	ELEC CABLE (OVERHEAD)
	APPROX. POSITION
	GULLY PIT
	PHOTO POINT
	SEWER MAIN (UNDERGROUND)
	APPROX. POSITION
	VEHICULAR CROSSING

YOU ARE ADVISED TO CALL 1100 "DIAL BEFORE YOU DIG" BEFORE CARRYING OUT ANY BUILDING WORKS.

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DRAWING NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

LOCATION PLAN
LAT: -33.6816
LONG: 150.8939

PLAN BY
NGEO SURVEYS
PROFESIONAL SURVEYORS
m: 0434 824 595 e: office@ngeosurveys.com.au

CLIENT
Property Collector

CLIENT REFERENCE
PROJECT LOCATION
LOT 53
DP 30186
172 TALLAWONG ROAD
ROUSE HILL

PLAN TYPE
CONTOUR PLAN

ABBREVIATIONS

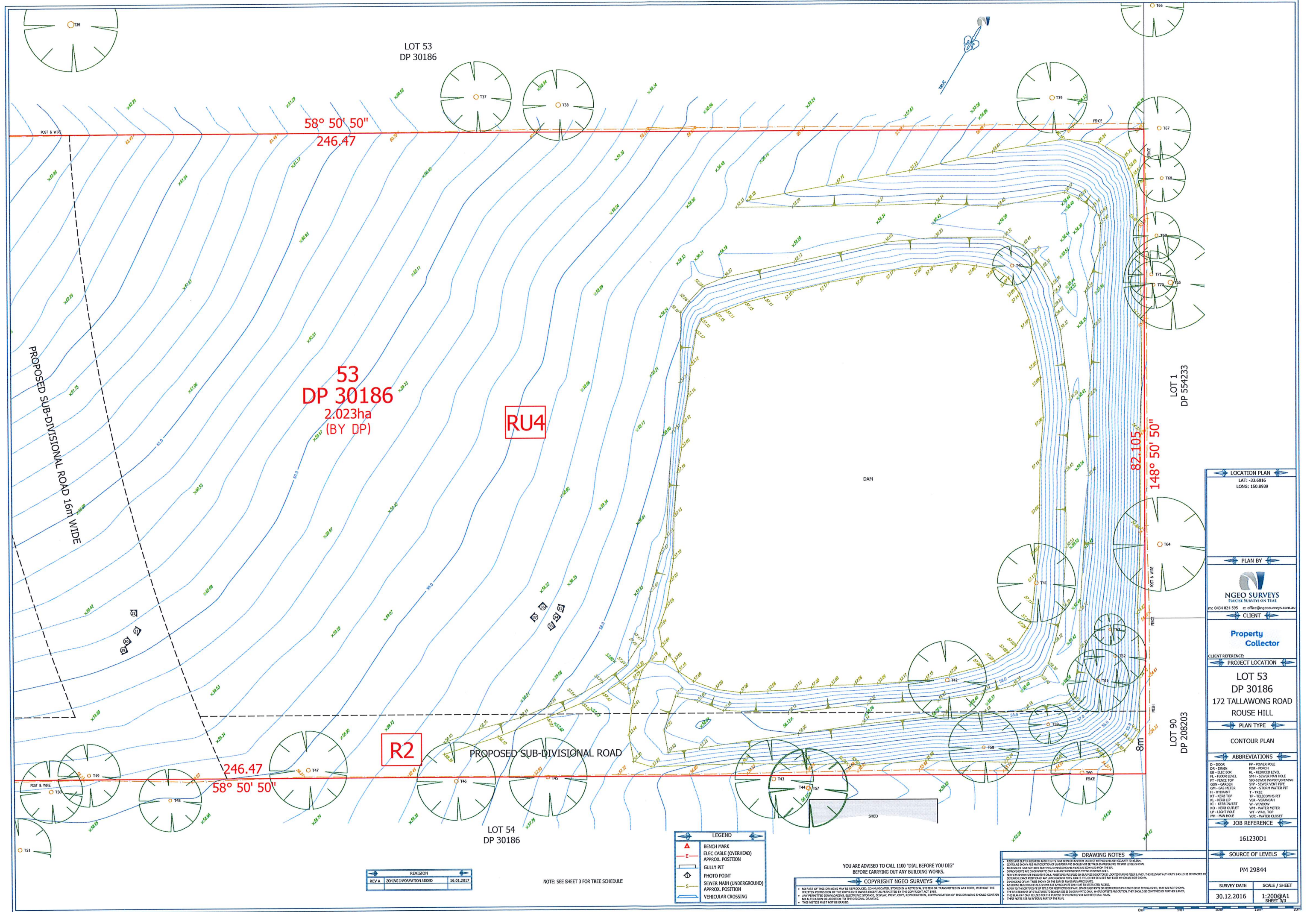
D - DOOR	PP - POWER POLE
DR - DRAIN	PP - PORCH
EB - ELEC BOX	RL - REDUCED LEVEL
FL - FLOOR LEVEL	SM - SEWER MAIN HOLE
FT - FENCE TOP	SOI - SEWER INSPECT COUPLING
GR - GARDEN	SUP - SEWER VENT PIPE
GH - GAS METER	SWP - STORM WATER PIT
H - HYDRANT	T - TRIBE
KT - KEYS TOP	TP - TELEPHONE PIT
KL - KEYS LIP	VER - VERANDAH
KI - KEYS INVERT	W - WINDOW
KO - KEYS OUTLET	WH - WATER METER
LP - LIGHT POLE	WT - WALL TOP
MH - MAN HOLE	WVC - WATER CLOSET

JOB REFERENCE
161230D1

SOURCE OF LEVELS
PM 29844

SURVEY DATE
30.12.2016

SCALE / SHEET
1:200@A1
SHEET 1/2



53
DP 30186
2.023ha
(BY DP)

RU4

R2

PROPOSED SUB-DIVISIONAL ROAD

PROPOSED SUB-DIVISIONAL ROAD 16m WIDE

82.105
148° 50' 50"

58° 50' 50"
246.47

246.47
58° 50' 50"

LOT 53
DP 30186

LOT 54
DP 30186

LOT 1
DP 554233

LOT 90
DP 208203

LEGEND	
	BENCH MARK
	ELEC CABLE (OVERHEAD) APPROX. POSITION
	GULLY PIT
	PHOTO POINT
	SEWER MAIN (UNDERGROUND) APPROX. POSITION
	VEHICULAR CROSSING

YOU ARE ADVISED TO CALL 1100 "DIAL BEFORE YOU DIG"
BEFORE CARRYING OUT ANY BUILDING WORKS.

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DRAWING NOTES

- FENCE AND GULLY LOCATIONS AND HEIGHTS MUST BE SPOT CHECKED BY VISUAL MEANS AND RECORD IN PLANS.
- CONTOURS SHOWN ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN EXCESSIVE TO SPOT LEVELS.
- BOUNDARIES ARE NOT BEING SHOWN TO CONVEY ANY RIGHTS OR INTERESTS IN THE LAND.
- PRESENTATION OF THIS DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT.
- SERVICES SHOWN ARE INDICATED ONLY. POSITIONS ARE BASED ON SURVEY DATA AND FIELD CHECKS.
- CONTIGUOUS BOUNDARIES OF ADJACENT PROPERTIES SHOULD BE CHECKED BY VISUAL MEANS.
- EXTENSIONS OF ANY SERVICES SHOWN ON THE SURVEY PLANS ARE APPROXIMATE.
- ASSUMING BOUNDARIES OF ADJACENT PROPERTIES ARE CORRECT AND SHOWN AS SUCH.
- REFER TO THE COPYRIGHTED PLAN FOR ANY SERVICES SHOWN ON THE SURVEY PLANS AND APPROXIMATE POSITIONS.
- THE LOCATION OF ALL UTILITIES TO BE LOCATED BY VISUAL MEANS SHOULD BE CHECKED BY VISUAL MEANS.
- THESE NOTES ARE AN INTEGRAL PART OF THE PLAN.

REVISION	
REV A	ZONING INFORMATION ADDED 16.01.2017

NOTE: SEE SHEET 3 FOR TREE SCHEDULE

LOCATION PLAN
LAT: -33.6816
LONG: 150.8939

PLAN BY
NGEO SURVEYS
PRECISE SURVEYS ON TIME
m: 0434 824 595 e: office@ngeosurveys.com.au

Property Collector

CLIENT REFERENCE

PROJECT LOCATION
LOT 53
DP 30186
172 TALLAWONG ROAD
ROUSE HILL

PLAN TYPE
CONTOUR PLAN

ABBREVIATIONS
D - DRAIN
DR - DRAIN
EB - ELEC BOX
FL - FLOOR LEVEL
FT - FENCE TOP
GN - GAS MAIN
GM - GAS METER
H - HYDRANT
KT - KEYS TOP
KL - KEYS LIP
KI - KEYS INVERT
MO - METER OUTLET
LP - LIGHT POLE
PH - MAN HOLE
PP - PIPES FILE
POR - PORCH
RL - REDUCED LEVEL
SM - SEWER MAN HOLE
SD - SEWER INSPECT OPENING
SOP - SEWER TEST PIPE
SWP - STORM WATER PIT
T - TREE
TP - TELESCOPE PIT
VER - VERANDAH
W - WINDOW
WM - WATER METER
WT - WALL TOP
WC - WATER CLOSET

JOB REFERENCE
161230D1

SOURCE OF LEVELS
PM 29844

SURVEY DATE
30.12.2016

SCALE / SHEET
1:200@A1
SHEET 3/3

SCHEDULE OF TREES			
	DIAMETER	SPREAD	HEIGHT
T1	0.4	5	9m
T2	0.5	10	14m
T3	0.5	8	12m
T4	0.7	10	15m
T5	0.7	10	15m
T6	0.6	10	15m
T7	0.5	12	22m
T8	0.5	12	22m
T9	0.5	12	20m
T10	0.5	7	18m
T11	0.5	7	18m
T12	0.5	7	18m
T13	0.3	3	5m
T14	0.4	7	7m
T15	0.4	7	10m
T16	0.4	5	6m
T17	0.2	2	3m
T18	0.2	2	3m

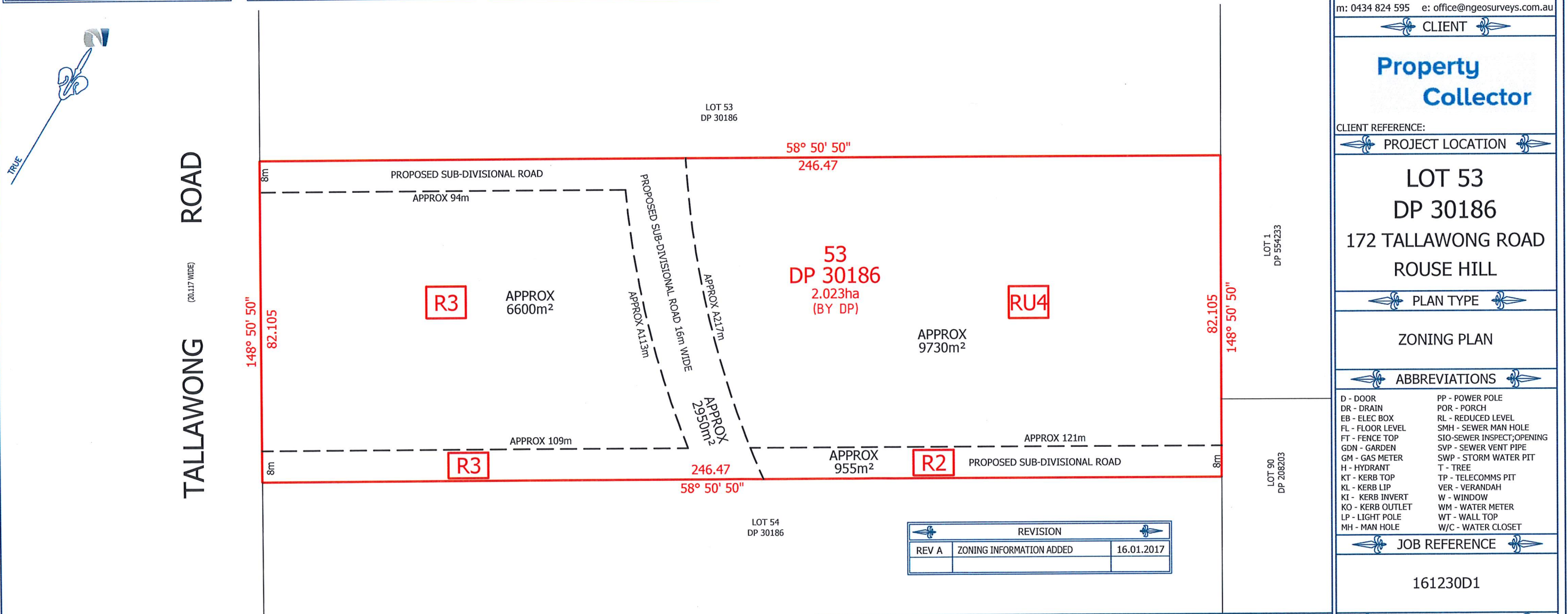
SCHEDULE OF TREES			
	DIAMETER	SPREAD	HEIGHT
T19	0.6	10	15m
T20	0.4	6	5m
T21	0.5	8	18m
T22	0.5	8	18m
T23	0.6	5	17m
T24	0.3	4	10m
T25	0.3	4	10m
T26	0.3	4	10m
T27	0.4	6	7m
T28	0.4	4	12m
T29	0.4	4	12m
T30	0.4	8	10m
T31	0.5	6	12m
T32	0.6	12	22m
T33	0.6	9	23m
T34	0.6	9	23m
T35	0.4	7	20m
T36	0.8	12	25m

SCHEDULE OF TREES			
	DIAMETER	SPREAD	HEIGHT
T37	0.6	9	18m
T38	0.6	9	18m
T39	0.6	9	18m
T40	0.4	5	12m
T41	0.5	10	16m
T42	0.5	10	16m
T43	0.5	10	16m
T44	0.5	10	16m
T45	0.5	10	16m
T46	0.5	10	16m
T47	0.5	10	16m
T48	0.4	8	12m
T49	0.4	8	16m
T50	0.5	8	20m
T51	0.5	8	20m
T52	0.4	4	8m
T53	0.5	9	18m
T54	0.5	9	18m

SCHEDULE OF TREES			
	DIAMETER	SPREAD	HEIGHT
T55	0.5	9	18m
T56	0.6	12	17m
T57	0.5	10	17m
T58	0.4	9	12m
T59	0.4	5	10m
T60	0.5	8	20m
T61	0.4	8	18m
T62	0.4	8	18m
T63	0.3	4	12m
T64	0.6	12	24m
T65	0.6	12	24m
T66	0.5	8	18m
T67	0.5	8	18m
T68	0.4	6	14m
T69	0.4	6	14m
T70	0.4	6	14m
T71	0.4	6	14m

POSITIONS OF ZONING (DIMENSIONS AND AREAS), ROAD WIDTHS AND SUB-ROADS ARE APPROXIMATE ONLY AND SUBJECT TO FINAL SURVEY

- R3** MEDIUM DENSITY RESIDENTIAL
- RU4** RURAL SMALL HOLDINGS
- R2** LOW DENSITY RESIDENTIAL



PLAN BY

NGEO SURVEYS
PRECISE SURVEYS ON TIME
m: 0434 824 595 e: office@ngeosurveys.com.au

CLIENT

Property Collector

CLIENT REFERENCE:

PROJECT LOCATION

**LOT 53
DP 30186
172 TALLAWONG ROAD
ROUSE HILL**

PLAN TYPE

ZONING PLAN

ABBREVIATIONS

D - DOOR	PP - POWER POLE
DR - DRAIN	POR - PORCH
EB - ELEC BOX	RL - REDUCED LEVEL
FL - FLOOR LEVEL	SMH - SEWER MAN HOLE
FT - FENCE TOP	SIO - SEWER INSPECT/OPENING
GDN - GARDEN	SVP - SEWER VENT PIPE
GM - GAS METER	SWP - STORM WATER PIT
H - HYDRANT	T - TREE
KT - KERB TOP	TP - TELECOMMS PIT
KL - KERB LIP	VER - VERANDAH
KI - KERB INVERT	W - WINDOW
KO - KERB OUTLET	WM - WATER METER
LP - LIGHT POLE	WT - WALL TOP
MH - MAN HOLE	W/C - WATER CLOSET

JOB REFERENCE

161230D1

SOURCE OF LEVELS

PM 29844

SURVEY DATE	SCALE / SHEET
30.12.2016	1:1000@A1 SHEET 3/3

REVISION		
REV A	ZONING INFORMATION ADDED	16.01.2017

- DRAWING NOTES
- RIDGE AND GUTTER LOCATION AND HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.
 - CONTOURS SHOWN ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.
 - BOUNDARIES HAVE NOT BEEN SURVEYED. DIMENSIONS AND AREAS ARE COMPILED FROM THE LPI.
 - IMPROVEMENTS ARE DIAGRAMMATIC ONLY AND ARE SHOWN FOR PLOTTING PURPOSES ONLY.
 - SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
 - DIMENSIONS OF ANY TREES SHOWN ON THE SURVEY PLANS ARE APPROXIMATE.
 - ADJOINING BUILDING DETAILS SHOWN ARE APPROXIMATE ONLY DUE TO RESTRICTED ACCESS.
 - REFER TO THE CERTIFICATE OF TITLE FOR RESTRICTIONS IF ANY. OTHER EASEMENTS OR RESTRICTIONS MAY EXIST OR BE EXTINGUISHED, THAT ARE NOT SHOWN.
 - THE RELATIONSHIP OF STRUCTURES TO BOUNDARIES IS DIAGRAMMATIC ONLY, WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - THIS PLAN MAY ONLY BE USED FOR THE PURPOSE OF PREPARING NEW ARCHITECTURAL PLANS.
 - THESE NOTES ARE AN INTEGRAL PART OF THE PLAN.

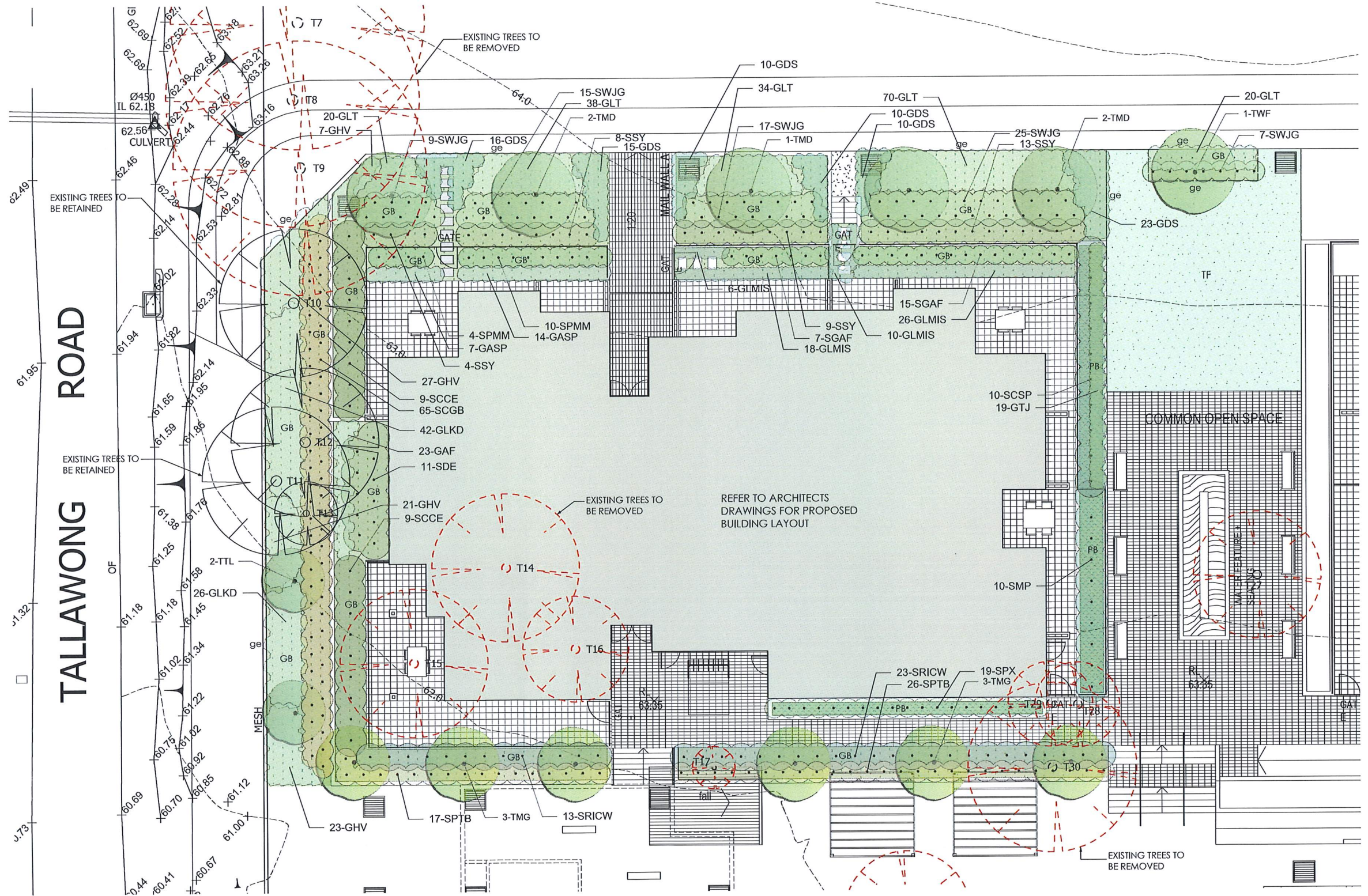
YOU ARE ADVISED TO CALL 1100 "DIAL BEFORE YOU DIG"
BEFORE CARRYING OUT ANY BUILDING WORKS.

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- THIS NOTICE MUST NOT BE ERASED.

LEGEND

- Existing trees to be retained
- Existing trees to be removed
- Proposed tree plantings
- Proposed shrub plantings
- Proposed groundcover plantings
- Stencil concrete driveway / path pavement
- Non slip patio pavement
- Proposed garden bed
- Proposed turfed area
- Proposed planter bed
- Timber garden edge
- Unit paver stepping stones



GENERAL NOTES:

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2. Verify all dimensions on site.
3. Refer to legend for all symbol and code keys.
4. Read in conjunction with the specifications
5. Read in conjunction with all associated drawings

B A	STREET TREES UPDATED FOR DA	CL	07.05.19
		CL	21.03.19
ISSUE	AMENDMENT	DRAWN	DATE

DESIGNED:	GD
PREPARED FOR:	NORTH WETERN GROUP PTY LTD
DRAWN:	CL

PREPARED BY:

Greenland Design Pty Ltd
 ABN 73 139 152 855
 Registered Landsc. Architect: Bao Ly
 PO Box 3228 Wetherill Park NSW 2164
 T: 0403 164 198
 E: gdl@greenlanddesign.com.au

PROJECT: **PROPOSED RESIDENTIAL DEVELOPMENT**

PROJECT ADDRESS:
 NO. 172 TALLAWONG ROAD ROUSE HILL

DRAWING TITLE: **Landscape Plan - Block A (Level 1)**

DATE: **MAY 2019**

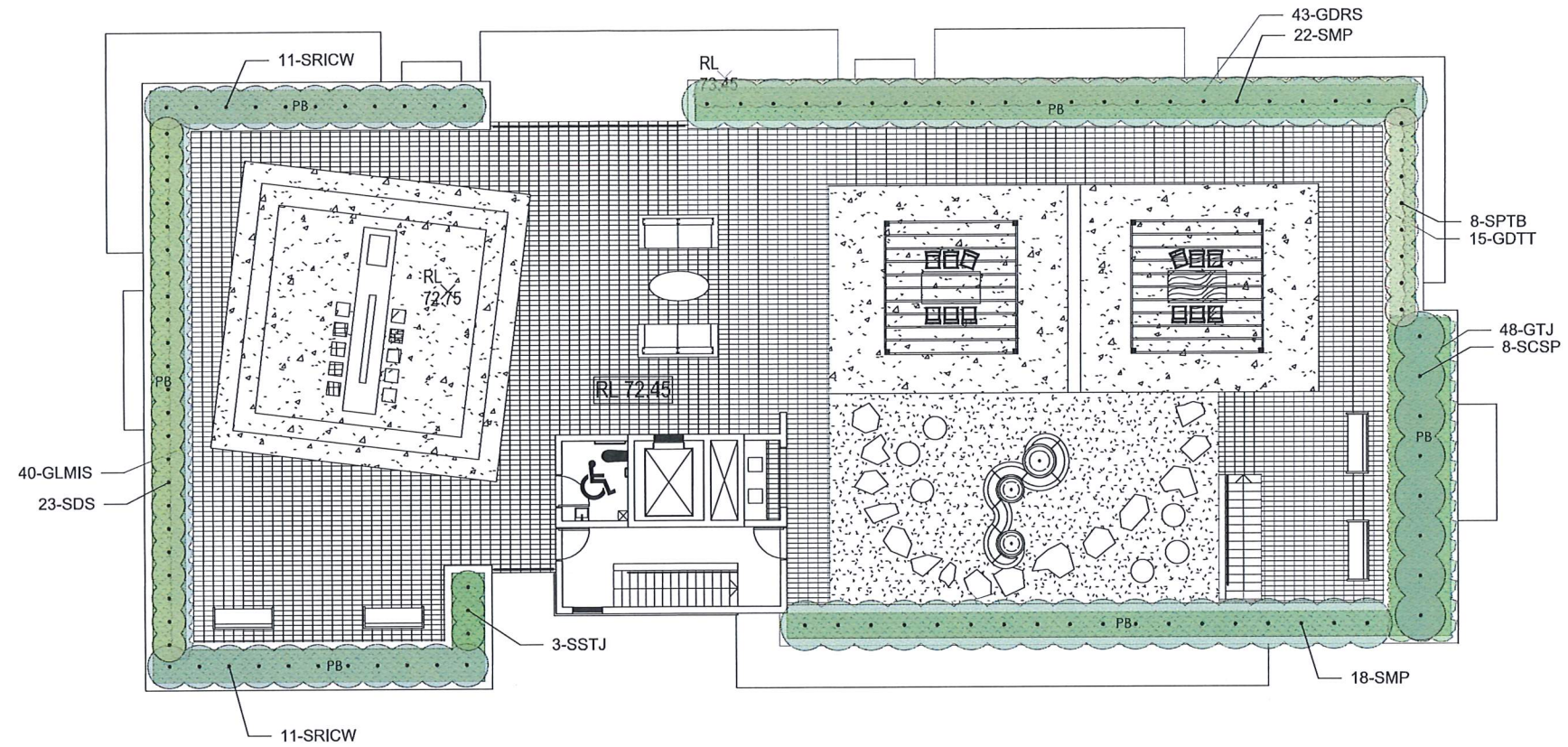
SCALE: 1:100 FULL SIZE: A1

DRAWING NO: **2010.GD.01**



LEGEND

	Proposed shrub plantings
	Proposed groundcover plantings
	Proposed planter bed
	Stencil concrete driveway / path pavement
	Non slip patio pavement



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B	STREET TREES UPDATED FOR DA	CL	07.05.19
A		CL	21.03.19
ISSUE	AMENDMENT	DRAWN	DATE

DESIGNED:	GD
PREPARED FOR:	NORTH WETERN GROUP PTY LTD
DRAWN:	CL

PREPARED BY:





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PROJECT:	PROPOSED RESIDENTIAL DEVELOPMENT
PROJECT ADDRESS:	NO. 172 TALLAWONG ROAD ROUSE HILL

DRAWING TITLE:

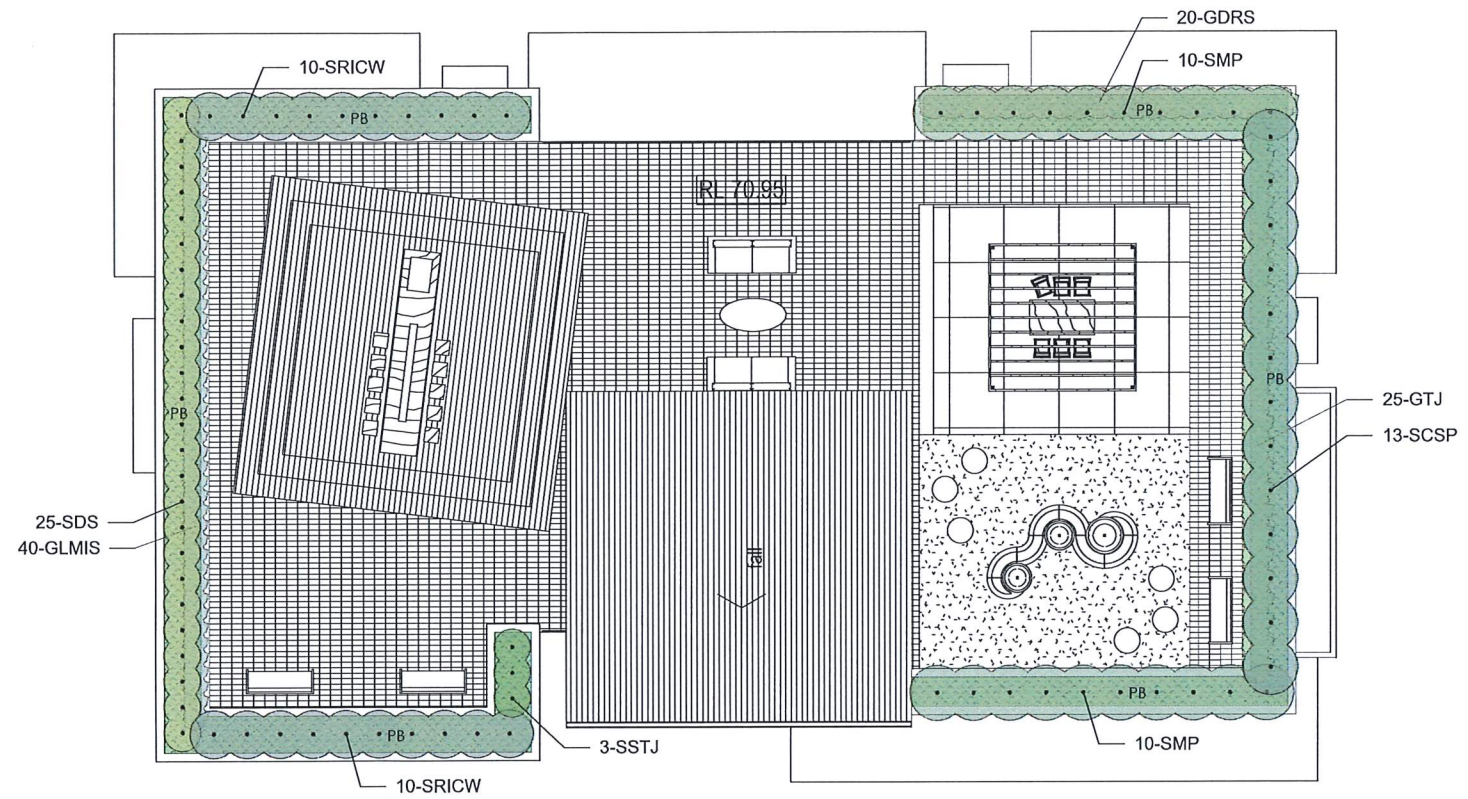
Landscape Plan - Block B (Roof Terrace)

DATE:	MAY 2019	
SCALE:	1:100	ISSUE:
FULL SIZE:	A1	B
DRAWING NO:	2010.GD.03	

LEGEND

	Proposed shrub plantings
	Proposed groundcover plantings
	Proposed planter bed
	Stencil concrete driveway / path pavement
	Non slip patio pavement



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 2. Verify all dimensions on site.
 3. Refer to legend for all symbol and code keys.
 4. Read in conjunction with the specifications
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B	STREET TREES UPDATED	CL	07.05.19
A	FOR DA	CL	21.03.19
ISSUE	AMENDMENT	DRAWN	DATE

DESIGNED:	PREPARED FOR:
GD	NORTH WETERN GROUP PTY LTD
DRAWN:	
CL	

PREPARED BY:




Greenland Design Pty Ltd
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 Registered Landsc. Architect: Bao Ly
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PROJECT:	DRAWING TITLE:
PROPOSED RESIDENTIAL DEVELOPMENT	Landscape Plan - Block D (Roof Terrace)
PROJECT ADDRESS:	
NO. 172 TALLAWONG ROAD ROUSE HILL	

DATE: **MAY 2019**





SCALE: 1:100
 FULL SIZE: A1

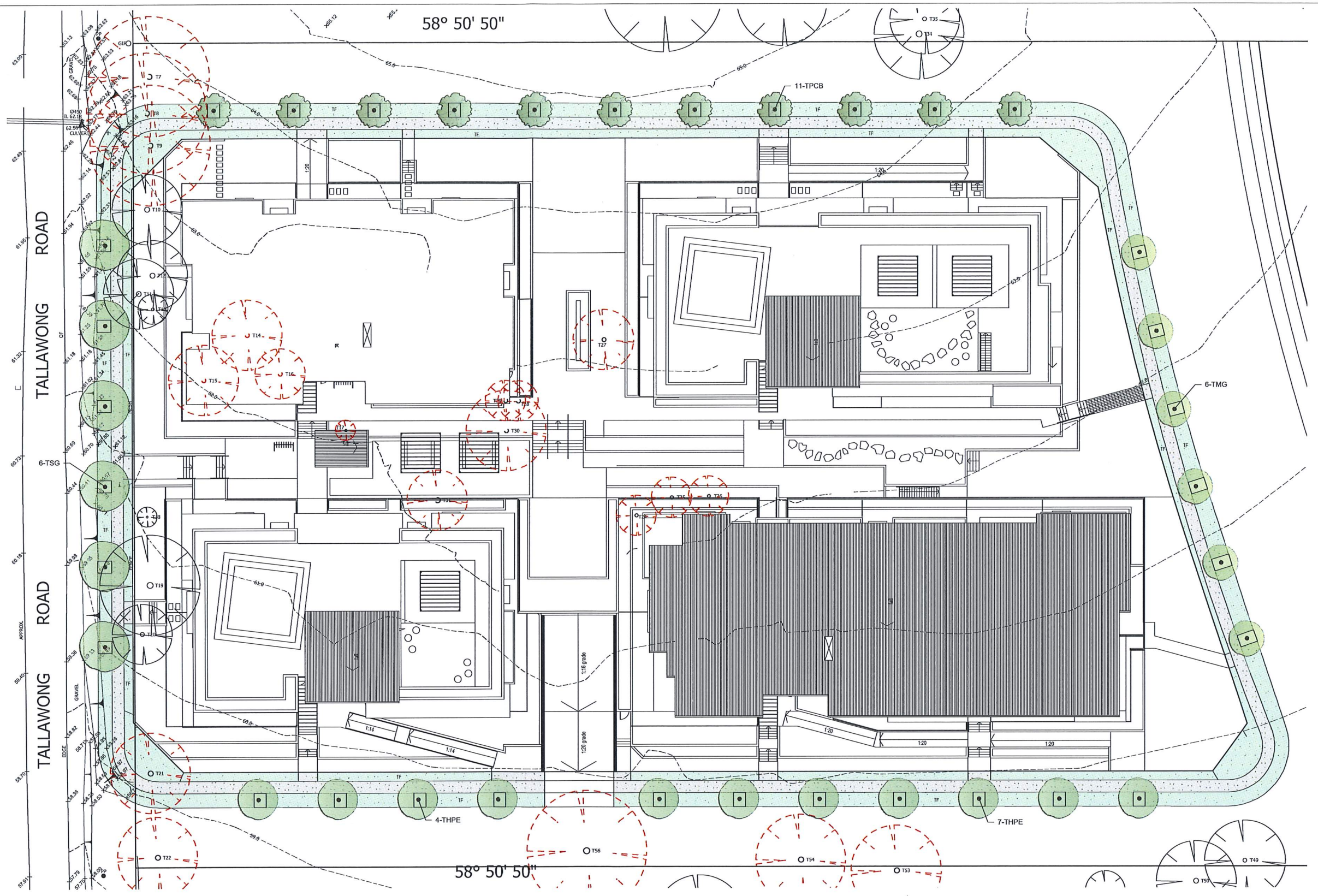
DRAWING NO: **2010.GD.06**



ISSUE	AMENDMENT	DRAWN	DATE

LEGEND

-  Existing trees to be retained
-  Existing trees to be removed
-  Proposed street tree plantings
-  Proposed turfed area



GENERAL NOTES:

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2. Verify all dimensions on site.
3. Refer to legend for all symbol and code keys.
4. Read in conjunction with the specifications
5. Read in conjunction with all associated drawings

B A	STREET TREES UPDATED	CL	07.05.19
	FOR DA	CL	21.03.19
ISSUE	AMENDMENT	DRAWN	DATE

DESIGNED:	PREPARED FOR:
GD	NORTH WETERN GROUP PTY LTD
DRAWN:	
CL	

PREPARED BY:



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 E: gdg@greenlanddesign.com.au

PROJECT:
PROPOSED RESIDENTIAL DEVELOPMENT

PROJECT ADDRESS:
 NO. 172 TALLAWONG ROAD ROUSE HILL

DRAWING TITLE:
Street Tree Plan

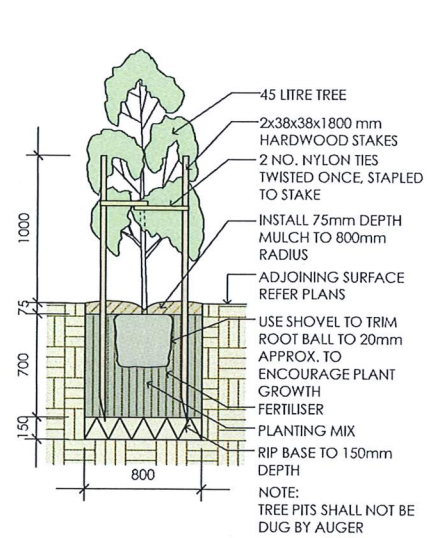
DATE:
MAY 2019

SCALE: 1:100
 FULL SIZE: A1

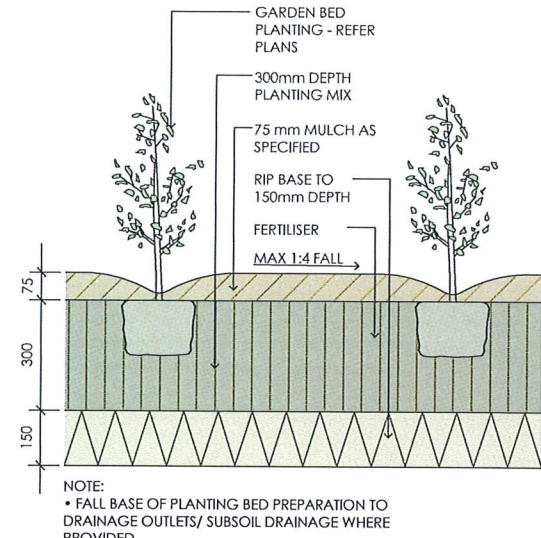
DRAWING NO:
2010.GD.07



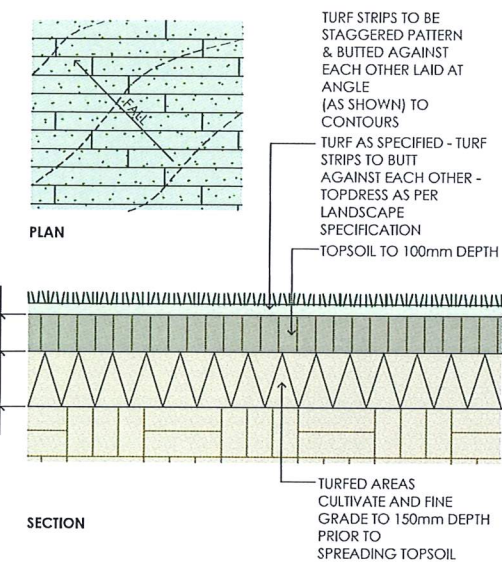
SCALE: 1:100	ISSUE: B
FULL SIZE: A1	
DRAWING NO: 2010.GD.07	



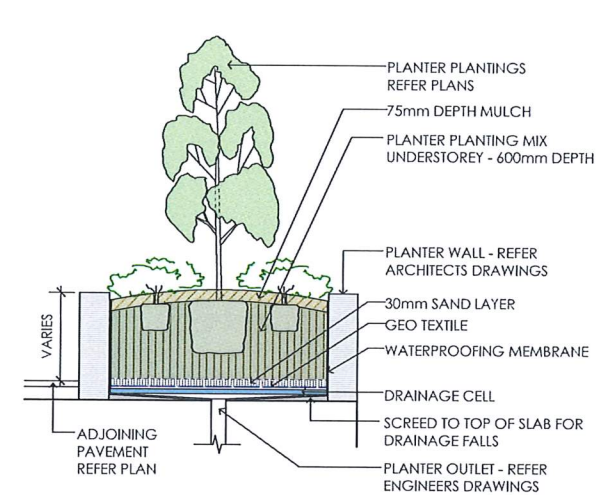
1 45 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10



3 Turfing
scale as shown



4 Planter Bed On Slab
scale 1:25

ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
Trees							
THPE	11	Tulipwood	Harpullia pendula	45Litre	15 - 20m	3.5 - 6m	N
TMD	10	White Feather Honeymyrtle	Melaleuca decora	45Litre	8 - 12m	5 - 8m	N
TMG	12	Little Gem Southern Magnolia	Magnolia grandiflora 'Little Gem'	45Litre	4 - 6m	2.0 - 3.5m	
TMT	13	Teddy Bear Magnolia	Magnolia grandiflora 'Teddy Bear'	45Litre	4 - 6m	2.0 - 3.5m	
TPCB	11	Bradford Flowering Pear	Pyrus calleryana 'Bradford'	45Litre	8 - 12m	2.0 - 3.5m	
TPY	7	Capital Flowering Pear	Pyrus calleryana 'Capital'	45Litre	8 - 12m	2.0 - 3.5m	
TSG	6	Turpentine	Syncarpia glomulifera	45Litre	over 30m	6 - 10m	N
TTL	11	Water Gum	Tristanopsis laurina 'Luscious'	45Litre	6 - 8m	3.5 - 6m	N
TWF	12	Weeping Lilly Pilly	Waterhousia floribunda	45Litre	6 - 8m	3.5 - 6m	N
Shrubs							
SAM	5	Alba Magna	Azalea 'Alba Magna'	200mm	1.0 - 1.5m	1.0 - 1.5m	
SBMJ	46	Japanese Box	Buxus microphylla var japonica	200mm	0.8 - 1.0m	0.6 - 0.8m	
SBS	25	English Box	Buxus sempervirens	200mm	1.5 - 2.0m	1.5 - 2.0m	
SCCE	18	Scarlet Bottlebrush	Callistemon citrinus 'Endeavour'	200mm	3 - 5m	2.0 - 3.5m	N
SCCW	31	White Bottle Brush	Callistemon citrinus 'White Anzac'	200mm	0.9 - 1.1m	2.0 - 3.0m	N
SCGB	148	Bottle Brush	Callistemon 'Great Balls of Fire'	200mm	1.0 - 1.5m	1.0 - 1.5m	N
SCSP	94	Pure Silk Camellia	Camellia sasanqua 'Pure Silk'	200mm	3 - 5m	1.5 - 2m	
SDE	11	Gyneria Lily	Doryanthes excelsa	200mm	1.5 - 2m	1.2 - 2.0m	
SDS	48	Duranta Gold	Duranta 'Sheenas Gold'	200mm	0.8 - 1.2m	0.9 - 1.2m	
SDV	33	Purple Hopseed Bush	Dodonaea viscosa 'Purpurea'	200mm	2 - 4m	2.0 - 3.5m	N
SGAF	173	Florida Gardenia	Gardenia augusta 'Florida'	200mm	0.8 - 1.0m	1.0 - 1.5m	
SMP	147	Orange Jessamine	Murraya paniculata	200mm	2.0 - 3.0m	2.0 - 3.0m	
SNDGS	43	Dwarf Sacred Bamboo	Nandina domestica 'Gulf Stream'	200mm	0.6m	0.8m	
SPMM	84	Miss Muffet	Pittosporum tobira 'Miss Muffet'	200mm	0.8 - 1.0m	1.2 - 1.5m	
SPTB	161	Bronze Warrior Flax	Phormium tenax 'Bronze Warrior'	200mm	1.4 - 1.6m	1.4 - 1.6m	
SPX	34	Philodendron	Philodendron xanadu	200mm	0.8 - 1.0m	0.8 - 1.0m	
SRICW	117	Cosmic White Rhipirolepis	Rhipirolepis indica 'Cosmic White'	200mm	1.5 - 2.0m	1.2 - 1.5m	
SSTJ	63	Birds Of Paradise	Strelitzia juncea	200mm	0.9 - 1.5m	0.9 - 1.2m	
SSY	114	Cascade Lilly Pilly	Syzygium 'Cascade'	200mm	2 - 3m	1.2 - 2.0m	N
SVO	22	Dense Form Viburnum	Viburnum odoratissimum 'Dense Form'	200mm	2 - 3m	1.5 - 2.0m	
SWJG	119	Jervis Gem	Westringia fruticosa 'Jervis Gem'	200mm	0.8 - 1.2m	0.8 - 1.2m	N
SYE	10	Spineless Yucca	Yucca elephantipes	200mm	3.0 - 5.0m	1.0 - 1.5m	
Ground Covers							
GTJ	172	Star Jasmine	Trachelospermum jasminoides	150mm	0.3 - 0.6m	1 - 4m	
GLT	745	Spiny-headed mat rush	Lomandra longifolia 'Tanika'	150mm	0.45 - 0.6m	0.6 - 0.9m	N
GLMS	373	Isabella Liriope	Liriope muscari 'Isabella'	150mm	0.3 - 0.4m	0.4 - 0.5m	
GASP	21	Sugar Plum Agapanthus	Agapanthus hybrid 'Sugar Plum'	150mm	0.3 - 0.4m	0.5 - 0.6m	
GHV	259	Meema	Hardenbergia violacea 'Meema'	150mm	0.4 - 0.6m	1.5 - 2.0m	N
GDS	153	Sunburn Pigface	Disphylium Sunburn	150mm	0.2 - 0.3m	1.5 - 2.0m	N
GAF	23	Kangaroo Paw 'Gold Velvet'	Anigozanthos 'Gold Velvet'	150mm	0.75 - 0.9m	0.3 - 0.6m	N
GLKD	125	Katrinus Deluxe Mat-Rush	Lomandra longifolia 'Katrinus Deluxe'	150mm	0.75 - 0.9m	0.9 - 1.2m	N
GCM	50	Bush Lily	Clivia miniata	150mm	0.4 - 0.5m	0.4 - 0.5m	
GARA	52	Bugleweed	Ajuga reptans 'Atropurpurea'	150mm	0.15 - 0.25m	0.8 - 1.0m	
GDTT	172	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.4 - 0.5m	0.4 - 0.5m	N
GJU	121	Tussock Rush	Juncus usitatus	150mm	0.5 - 0.7m	0.8 - 1.0m	N
GDRS	63	Dichondra 'Silver Falls'	Dichondra repens 'Silver Falls'	150mm	0.2 - 0.3m	0.6 - 1.5m	
GIATFM	22	Flat Mat Trachelospermum	Trachelospermum asiaticum 'Flat Mat'	150mm	0.3 - 0.4m	3.0 - 4.0m	
GCG	34	Pigface	Carpobrotus glaucescens	150mm	0.2 - 0.3m	1.5 - 2.0m	N
GOP	20	Black Mondo Grass	Ophiopogon planiscapus Nigrescens	150mm	0.3 - 0.45m	0.0 - 0.3m	
GMYP	33	Carpet Spreading Myoporum	Myoporum parvifolium 'Yareena'	150mm	0 - 0.1m	2.0 - 3.0m	N

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:

Planting mix for free pit backfill shall be "Organic Garden Mix" consisting of
50% Black Soil
20% Coarse Sand
30% Organic Material

as available from Australian Native Landscapes, Phone: [02] 9450 1444, or approved equivalent. Samples shall be provided to the Superintendent prior to ordering or delivery to site. Any material delivered to site, that is rejected by the Superintendent, shall be removed by the contractor at his own expense. Minimum depths of mix to all planting bed areas is as specified on details.

Planter Mix:

Planter mix shall be Peat and Planter Mix as supplied by Australian Native Landscape Pty Ltd (ph [02] 9450 1444 or approved equivalent).

Planter Drainage Cell:

Planter drainage cell shall be VersiCell as supplied by Elmich Australia Pty Ltd (ph [02] 9648 2073 or approved equivalent).

Mulch:

Mulch to garden bed:

Mulch shall mean hardwood mulch (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone [02] 9450 1444, or approved equivalent.

Mulch to planter beds:

Mulch to planter beds shall be Pine bark mini nuggets mulch (25mm grade), free from fines and as available from Australian Native Landscapes Pty Ltd Phone [02] 9450 1444, or approved equivalent.

Spread mulch so that after settling, it is:

- smooth and evenly graded between design surface levels;
- flush with adjacent finished levels;
- of the required depths (75mm); and
- sloped towards the base of plant stems in plantation beds, but not in contact with the stem (not closer than 50mm in the case of gravel mulches).

Place after the preparation of the planting bed, planting and all other work.

Plant Material:

All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Plants are available from **Andreasens Green** wholesale nursery, contact Darren [02] 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

Turfed areas:

All new turf areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points.

All new turf area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

PREPARATION AND HARDWORKS

Excavating for Spot Planting

To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking

Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Timber Edge

MATERIAL: Timber edging shall consist of:

Edging: 100 x 50mm hardwood

Pegs: 50 x 50 x 400mm hardwood.

Fastenings: to be 75x3.75mm diam, galvanised nails

INSTALLATION: Setout alignment of timber edges on site for approval of Superintendent. Excavate to approved alignment and place edge band within trench to confirm peg locations. Install pegs and affix timber edge in accordance with details. All timber edging to finish flush with adjoining turf.

MAINTENANCE / PLANT ESTABLISHMENT

Maintenance shall apply to all hard and soft landscape materials installed prior to the "handover" and acceptance by Principals Representative and the Site Superintendent. The maintenance period shall commence at the granting of practical completion and shall extend for 26 weeks.

Maintenance shall consist of the following works:

- Follow a daily watering programme to be approved by Superintendent. Water all plants individually, twice per week or when necessary to ensure constant plant growth. Water all turf and native grassed areas, twice per week.
- Apply appropriate weed control sprays and hand weed as required to maintain planting areas, native grassed areas, turf areas, paved areas, and tree pits in turf free of weed or rogue grass growth.
- Regularly tidy and top up mulch and trim edges to prevent spill over onto paved / grassed areas.
- Spray to control pests and diseases.
- Replace plants, which fail with plants of a similar size and quality as originally specified to approval of Superintendent. Costs of replacement shall be the responsibility of the Contractor. Replacement planting will be undertaken within 2 weeks of identification of dead material or instruction by the Superintendent.
- Report any incidence of plants stolen or destroyed by vandalism.
- Adjust stakes and ties to plants as necessary. Ensure that strangulation of plants does not occur.
- Prune and shape plants as directed or where necessary.
- Make good any defects or faults arising out of defective workmanship or materials.
- Fertilise lawn areas to maintain healthy growth.
- Make good any erosion or soil subsidence, which may occur including soft areas in pathways.
- Mow lawn to maintain neat healthy growth.
- A final inspection shall be made by the Superintendent before handover. Any items requiring rectification shall be repaired before the works are finally approved, and retention moneys released.

NOTE:

- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Councils landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

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